

May 21, 2021

TO THE CITY OF IOWA COLONY PLANNING AND ZONING COMMISSION:

As you all know there have been numerous instances in the past few years where clarification or revision of certain portions of our development ordinances would be beneficial to the approval process and would not necessitate the request for variances. As a part of the on-going ordinance review process, I have prepared a draft list of issues/sections of our several development ordinances that have been brought to my attention that are in need of review. Please feel free to add, subtract, or substitute issues/sections that you feel should be a part of this list. Hopefully, we can use this list to prepare a short workshop and solicit both your consent and direction for a step-by-step review/revision process. Thank you in advance for your continued support and information.

#### PROPOSED REVIEW/REVISION ISSUES/SECTIONS OF CITY OF IOWA COLONY DEVELOPMENT ORDINANCES

##### ZONING ORDINANCE

Sec 3 – Newly Annexed Areas – Allow PUD district as a initial district for areas under Plan of Development

Sec 4 – Land Use Policies – (b) Land Use Goals – revise to include the goals of the comprehensive plan

Sec 5 – Definitions

“Accessory Structure” – revise to provide clarification with use examples

“Dwelling, Multifamily” – revise to set minimum at 4 units instead of 3

“Dwelling, Two Family (duplex) – clarification to allow a duplex unit on a single lot

General – “Yard” definition to clarify building setback line relationship

Table 5 – Schedule of Parking Regulations – Update to today’s standards

[Sec 70 District SFR \(Single Family Residential Dwelling District\) – \(a\) Permitted uses – specify only one dwelling per lot, tract, or parcel](#)

[Sec 72 District MH \(Manufactured Housing District\) – \(a\) Permitted uses – specify only one dwelling per lot, tract, or parcel](#)

[Sec 74 District PUD \(Planned Unit Development District\) –specify only one dwelling per lot, tract, or parcel, unless otherwise specified in the plan](#)

Sec 71 District MU (Mixed Use District) – (a) Permitted uses – update list to today’s standards

Sec 72 District MH (Manufactured Housing District) – (a) Permitted uses – specify only one dwelling per lot, tract, or parcel

Sec 73 District BR (Business Retail Use) – (a) Permitted uses – update list to today’s standards

Sec 74 District PUD (Planned Unit Development District) –specify only one dwelling per lot, tract, or parcel, unless otherwise specified in the plan

Sec 101 Offenses and Penalties – The current maximum penalty under the ordinance is \$500 and does not require any intent to violate the ordinance. State law allows a fine up to \$2,000 for zoning violations, but only with a culpable mental state. Therefore, keep the existing penalty provision, but add an alternate charge of intentional, knowing, reckless, or criminally negligent violation, with a maximum fine of \$2,000.

ARTICLE VIII – Amendments to Zoning Ordinance – General – add Planning and Zoning Commission to review/recommendation process

#### SUBDIVISION ORDINANCE

General – Change all references of Planning Commission to Planning and Zoning Commission

Section 33 – Streets – Update minimum right-of-way width/street classification

G – Reverse curves – provide minimum radius for centerline curves

Section 37 – Lots – Consider lot size area less than 6600 square feet and provide compensating open space table

Section 42 – Sidewalks – Update with new standards

Attachment A, B and C – Remove permit fee list and engineering standards and details

#### UNIFIED DEVELOPMENT CODE

Appendix 3.1.3.12. Large Tree Plant List – Update to today’s standards

Appendix 3.1.3.13. Small Tree List – Update to today’s standards

Appendix 3.1.3.15. Shrub list – Update to today’s standards

Article 3 Screening and Fencing – Review for fencing around subdivisions clarification

Section 3.3.2.3. Fencing Required – Review for clarification for single family fencing

Section 3.5.3.1. Setback, Driveways, Sidewalks, and Parking for Commercial/Retail/Office/Industrial use Buildings – review Build-To line criteria and special circumstances (pipeline easements along major streets)

Section 3.5.3.11. Offsets – Review for clarification of horizontal and vertical offset requirements

Section 3.5.3.12 Storefronts – Review transparency and Canopies/Overhang criteria (65% issue)

Chapter 4 Article 2 – Street Lights – revise to refer to Infrastructure Design Manual criteria

## SIGN ORDINANCE

Definitions – Clarify maximum sign structure area and maximum actual signage sign area difference

Table 24 – Requirements for Monument Signs – Clarify different area types relating to SH 288

Clarify removal of required notice signs by applicant

Prepared by J. Kent Marsh, AICP CUD, City of Iowa Colony Staff Planner

Copy



12003 Iowa Colony Blvd.  
Iowa Colony, Tx. 77583  
Phone: 281-369-2471  
Fax: 281-369-0005  
[www.iowacolonytx.gov](http://www.iowacolonytx.gov)

IOWA COLONY PLANNING AND ZONING COMMISSION  
MINUTES OF MAY 11, 2021

Members present: David Hurst, Steven Byrum-Bratsen, Vince Patterson, and Melanie Hampton

Members absent: Les Hosey

Others present: Dinh Ho, Kent Marsh, Ron Cox, Stan Winters, and Mike Christopher

**MEETING- 7:00 P.M.**

1. Chairman Hurst called the meeting to order at 7:02 P.M.
2. Citizens Comments. There were no comments from the public.
3. Consider approval of the April 6, 2021 meeting minutes. Steven Byrum-Bratsen moved to approve the minutes of April 6, 2021. Seconded by Melanie Hampton. Approved unanimously with four ayes.
4. Consideration and possible action for the Williams Addition Preliminary Plat. Vince Patterson moved to approve the Williams Addition Preliminary Plat. Seconded by Steven Byrum-Bratsen. Approved unanimously with four ayes.
5. Consideration and possible action for the Colony Acres Subdivision Preliminary Plat. Steven Byrum-Bratsen made a motion for conditional approval of the Colony Acres Subdivision Preliminary Plat per the letter of recommendation. Seconded by Vince Patterson. Approved with four ayes.
6. Consideration and possible action for the Cherry Villages Final Plat. Steven Byrum-Bratsen made a motion to approve the Cherry Villages Final Plat. Seconded by Vince Patterson. Approved unanimously with four ayes.
7. Consideration and possible action for the Sierra Vista Corner Replat No. 1. Vince Patterson made a motion to accept the Sierra Vista Corner Replat No. 1. Seconded by Steven Byrum-Bratsen. Approved unanimously with four ayes.
8. Consideration and possible action for the Sierra Vista West Section 5 Final Plat. Steven Byrum-Bratsen made a motion to approve the Sierra Vista West Section 5 Final Plat. Seconded by Melanie Hampton. Approved unanimously with four ayes.
9. Consideration and possible action for the Sierra Vista West Section 6 Final Plat. Steven Byrum-Bratsen made a motion to approve the Sierra Vista West Section 6 Final Plat. Seconded by Melanie Hampton. Approved unanimously with four ayes.
10. Consideration and possible action for the Sierra Vista West Section 8 Preliminary Plat. Steven Byrum-Bratsen made a motion to approve the Sierra Vista West Section 8 Preliminary Plat. Seconded by Vince Patterson. Approved unanimously with four ayes.



11. Consideration and possible action for the Sierra Vista West Section 9 Preliminary Plat. Vince Patterson made a motion to approve the Sierra Vista West Section 9 Preliminary Plat. Seconded by Steven Byrum- Bratsen. Approved unanimously with four ayes.

12. Consideration and possible action for the Sierra Vista West Section 10 Preliminary Plat. Melanie Hampton made a motion to approve the Sierra Vista West Section 10 Preliminary Plat with conditions per the letter of recommendation. Seconded by Steven Byrum-Bratsen. Approved unanimously with four ayes.

13. Consideration and possible action to approve the Sterling Lakes/Sierra Vista Plan of Development Amendment No 2. Steven Byrum-Bratsen made a motion to approve the Sterling Lakes/Sierra Vista Plan of Development Amendment No. 2 subject to the conditions in the letter of recommendation. Seconded by Vince Patterson. Approved unanimously with four ayes.

14. Steven Byrum-Bratsen made a motion to adjourn. Seconded by Vince Patterson. Approved unanimously. Meeting was adjourned at 8:21 P.M.

APPROVED THIS 1st DAY OF JUNE, 2021.

ATTEST:

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Kayleen Rosser, City Secretary

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David Hurst, Chairman

Copy

Monday, May 24, 2021

Brad Sweitzer  
EHRA Inc.  
10555 Westoffice Dr.  
Houston, TX 77042

**Re: Meridiana Commercial Reserve No. 2 Preliminary Plat  
Letter of Recommendation to Approve  
City of Iowa Colony Project No. SPP 210408-0472  
Adico, LLC Project No. 16007-2-189**

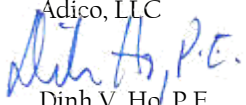
Dear Mr. Sweitzer;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the second submittal of the preliminary plat package for Meridiana Commercial Reserve No. 2, received on or about May 24, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance No. 2019-09 dated August 2002 and as amended.

Based upon our review, we have no objections to the plat as resubmitted. Please provide ten (10) copies of the plat to Kayleen Rosser by no later than Tuesday, May 25, 2021 for consideration at the June 1, 2021 Planning and Zoning meeting.

Should you have any questions, please do not hesitate to call me.

Sincerely,  
Adico, LLC

  
Dinh V. Ho, P.E.  
TBPE Firm No. 16423

Copy

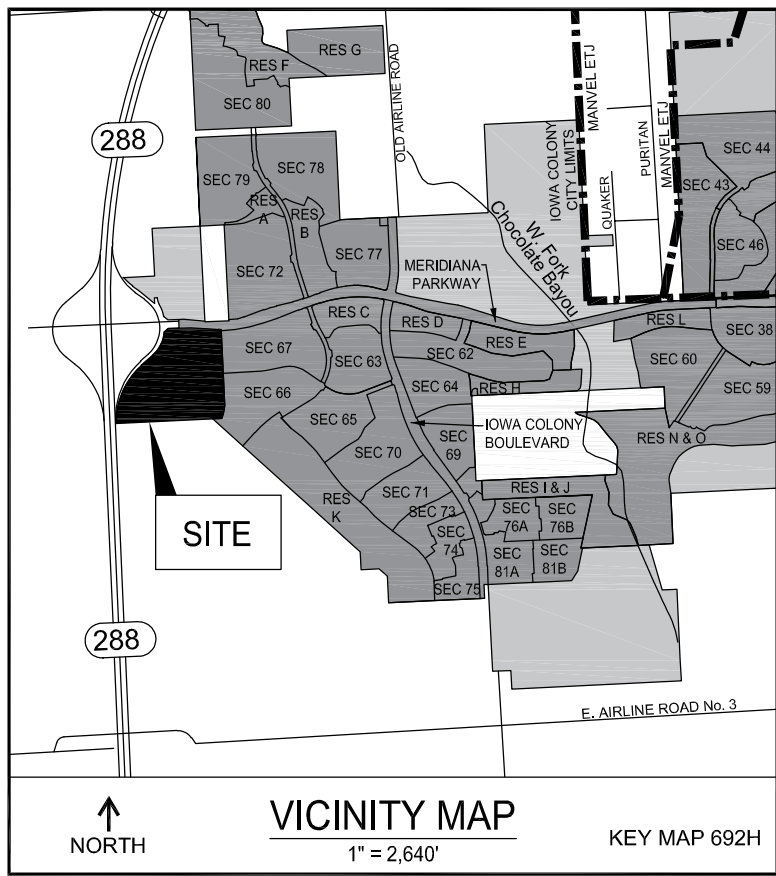
Cc: Kayleen Rosser, City Secretary, ([krosser@iowacolonytx.us](mailto:krosser@iowacolonytx.us))  
Ron Cox, City Manager ([rcox@iowacolonytx.us](mailto:rcox@iowacolonytx.us))  
File: 16007-2-189



1. Bearing orientation is based on the Texas State Plane Coordinate System of 1983, South Central Zone as determined by GPS measurements.
2. The Coordinates shown herein are Texas South Central Zone No. 4204 state plane grid coordinates (NAD 83) and may be brought to surface by applying the following scale factor: 0.99986742185.
3. According to the Federal Emergency Management Agency Flood Insurance Rate Map, Brazoria County, Texas, Community Panel No.48039C0110K, dated December 30, 2020, the property lies within Zone AE.

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1,528.50'	31.78'	S 87°28'10" E	31.78'
C2	1,041.74'	845.45'	N 24°57'51" E	822.44'
C3	458.37'	354.00'	N 26°05'23" E	345.27'

LINE	ANGLE	DISTANCE
L1	S 09°59'58" W	99.91'
L2	S 17°05'22" W	80.31'
L3	N 01°44'05" E	52.81'
L4	N 46°44'31" E	69.83'



3. Slob elevations (finished floor) shall be a minimum of 2 feet above finished grade.
4. All drainage easements shown herein shall be kept clear of fences, buildings, plantings and other obstructions to the operation and maintenance of drainage facilities.
5. All property shall drain into the drainage easement only through an approved drainage structure.
6. All drainage easements and detention pond reserves shown on this plat, will be maintained by the property owners and/or business owners; provided, however, and groundwater, shall remain under jurisdiction, without limitation, Brazoria County, Texas and Brazoria County Drainage District #5, shall have the right, but not the obligation to maintain the drainage easements to perform maintenance operations at any time after the date hereof.
7. The property identified in the foregoing plat lies within Brazoria County Drainage District #5.
8. This rural subdivision employs a natural drainage system, which is intended to provide drainage for the subdivision that is similar to that which existed under pre-development conditions. Thus, during the life of the subdivision, no drainage is to be created or to occur in the subdivision to the extent it may have prior to development, but such ponding should not remain for an extended period of time.
9. Land use within the subdivision is limited to an average imperviousness of no more than 72 percent. The drainage and/or detention system has been designed with the assumption that this average percent imperviousness will not be exceeded. If this percentage is to be exceeded, a replot and/or redesign of the system may be necessary.
10. And then shown herein, there are no pipeline easements or pipelines within the boundaries of this plat.
11. All storm water drainage pipes, culverts, tiles or others (includes driveway culverts) will be a minimum of 24" I.D. or equal.
12. Dedicated drainage easement(s) granted to Brazoria County Drainage District #5 for drainage maintenance purposes shall include 45 feet top of bank, plus the sum (footage) of both ditch side slopes and channel bottom and 45 feet of bank on the opposite bank.
13. Dedicated ingress/egress easements are granted to Brazoria County Drainage District #5 for Resolution 2011-07, Resolution 2007-07. Access will be gated and locked with Brazoria County Drainage District #5's lock.
14. Prohibited use of "metal" pipe in storm water/sewer applications (See District Resolution No. 2007-08).
15. Prohibited use of "rip rap" in storm water/sewer applications. (District Policy).
16. Pipelines, utility lines and other crossing under any Brazoria County Drainage District #5 ditch require approval and permitting prior to the project owner will be initiated and recorded, at the project owner's expense, in Brazoria County, Texas with a "Recorded Document Number" offered to said easement prior to final approval granted by Brazoria County Drainage District #5 Board of Commissioners.
17. It will be the property owner's responsibility to verify if any Brazoria County Drainage District #5 Dedicated" drainage easements are on or cross their property. If so, the property owner will comply as stated within the recorded easement.
18. Project field start-up will start within 365 calendar days from date shown here. Continuous and reasonable field site work is expected. See Brazoria County drainage district manual section 1, Introduction, Sub-Section 1.5, Plat and Map approval process, and drainage acceptance procedures; time limit for approval and Brazoria County Drainage District #5 Resolution 2011-1, allowable time(s) and procedures for starting-up projects.

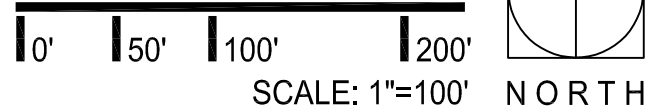
BENCHMARK(S):

NGS MONUMENT # E 306 DISK SET IN TOP OF CONCRETE MONUMENT, LOCATED 2.0 MILES WEST OF MANVEL, 2 MILES WEST ALONG THE GULF, COLORADO AND SANTA FE RAILWAY FROM THE STATION AT MANVEL, BRAZORIA COUNTY, 0.2 MILE WEST OF A SHELL-ROAD CROSSING, 5-1/2 FEET NORTHWEST OF MILE POLE 38, 39 FEET SOUTH OF THE SOUTH RAIL 33 FEET NORTH OF THE CENTERLINE OF A DIRT ROAD, 6.7 FEET WEST OF THE SOUTH RAIL RIGHT-OF-WAY FENCE, 3 FEET WEST OF A WHITE WOODEN WITNESS POST AND SET IN THE TOP OF A CONCRETE POST ABOUT FLUSH WITH THE GROUND.  
ELEV.=52.00 (NAVD '88) 1991 ADJUSTMENT

REMAINDERS OF  
VOL. 1683, PG. 672  
AND VOL. 1747, PG. 791  
B.C.D.R.  
CEMEX CONSTRUCTION MATERIALS

TRINITY TURBINE REAL ESTATE LLC  
B.C.C.F. NO. 2014001205

BOYDS RENTAL PROPERTIES LLC  
B.C.C.F. NO. 2004001390



## Meridiana Commercial Reserve No. 2 Preliminary Plat

A Subdivision of 34.43 acres out of the H.T. & B. R.R. Co. Survey, Section 52, A-513, City of Iowa Colony, Brazoria County, Texas.

## 1 Block and 4 Reserves

Owner: GR-M1, LTD., a Texas Limited Partnership

May 2021



Wednesday, May 19, 2021

Brad Sweitzer  
EHRA Inc.  
10555 Westoffice Dr.  
Houston, TX 77042

**Re: Meridiana General Development Plan  
Letter of Recommendation to Approve  
City of Iowa Colony Project No. SPP 210510-0643  
Adico, LLC Project No. 16007-2-202**

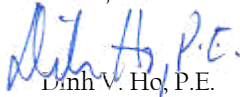
Dear Mr. Sweitzer;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the Meridiana General Development Plan package, received on or about May 13, 2021. The review of the plan is based on the City of Iowa Colony Subdivision Ordinance No. 2019-09 dated August 2002 and as amended.

Based upon our review, we have no objections to the general development plan as submitted on May 13, 2021. Please provide ten (10) copies of the plan to Kayleen Rosser by no later than Tuesday, May 25, 2021 for consideration at the June 1, 2021 Planning and Zoning meeting.

Should you have any questions, please do not hesitate to call me.

Sincerely,  
Adico, LLC

  
Dinh V. Ho, P.E.  
TBPE Firm No. 16423

Copy

Cc: Kayleen Rosser, City Secretary, ([krosser@iowacolonytx.us](mailto:krosser@iowacolonytx.us))  
Ron Cox, City Manager ([rcox@iowacolonytx.us](mailto:rcox@iowacolonytx.us))  
File: 16007-2-202

# Meridiana General Development Plan

Being 1,144.7 acres of land out of the H.T. & B.R.R. Co. Survey, Section 52, Abstract 513, Section 53, Abstract

**Owner:** GR-M1, LTD., a Texas Limited Partnership

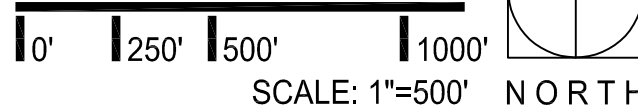
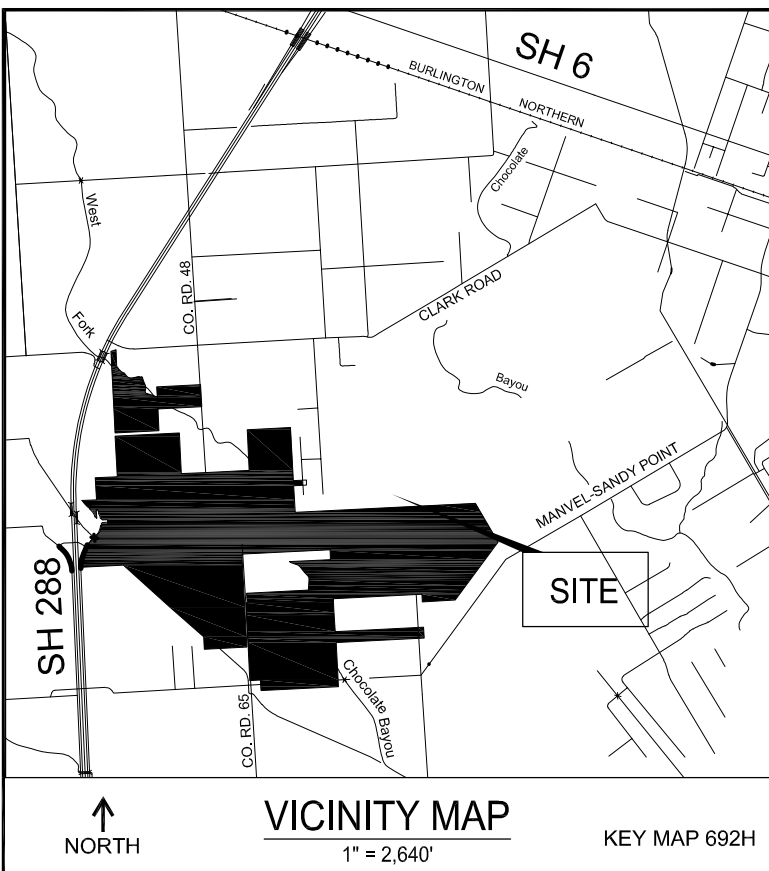
1. B.C.C.F. indicates Brazoria County Clerk's File.  
B.C.P.R. indicates Brazoria County Plat Records.  
B.L. indicates Building Line.  
D.E. indicates Drainage Easement.  
H. indicates Homestead.  
P.G. indicates Page.  
P.A.E. indicates Permanent Access Easement.  
G.B. indicates Point of Beginning.  
P.U. indicates Private Utility Easement.  
P.V.T. indicates Private.  
R indicates Radius.  
R.O.W. indicates Right-Of-Way.  
S.E. indicates Secondary Sewer Easement.  
S.T.M.S.E. indicates Storm Sewer Easement.  
U.E. indicates Utility Easement.  
VOL. indicates Volume.  
W.L. indicates Water Line Easement.  
X indicates change in street name.

2. This general development plan is subject to the conditions and restrictions of the Meridiana PUD Amendment No. 3 as approved January 23, 2017.

**OWNER CONTACT INFORMATION**  
GR-M1, LTD., A TEXAS LIMITED PARTNERSHIP  
1602 AVENUE D, STE. 100  
KATY, TX 77493  
832-916-2162

BENCHMARK(S):

NGS MONUMENT # 3 IS A DISK SET IN TOP OF CONCRETE MONUMENT, LOCATED 2.0 MILES WEST OF MANVEL, 2 MILES WEST ALONG THE GULF, COLORADO AND SANTA FE RAILWAY FROM THE STATION AT MANVEL, BRAZORIA COUNTY, 0.2 MILE WEST OF A SHELL-ROAD CROSSING, 5-1/2 FEET NORTHWEST OF MILE POLE 38, 39 FEET SOUTH OF THE SOUTH RAIL 33 FEET NORTH OF THE CENTERLINE OF A DIRT ROAD, 6.7 FEET NORTH OF THE RIGHT-OF-WAY FENCE, 3 FEET WEST OF A WHITE WOODEN WITNESS POST AND SET IN THE TOP OF A CONCRETE POST ABOUT FLUSH WITH THE GROUND.  
ELEV.=52.00 (NAVD '88) 1991 ADJUSTMENT





Monday, May 24, 2021

Brad Sweitzer  
EHRA Inc.  
10555 Westoffice Dr.  
Houston, TX 77042

**Re: Meridiana Pursley Boulevard Phase 6A Preliminary Plat  
Letter of Recommendation to Approve  
City of Iowa Colony Project No. SPP 210510-0644  
Adico, LLC Project No. 16007-2-191**


Dear Mr. Sweitzer;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the second submittal of the preliminary plat package for Meridiana Pursley Boulevard Phase 6A, received on or about May 19, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance No. 2019-09 dated August 2002 and as amended.

Based upon our review, we have no objections to the plat as resubmitted. Please provide ten (10) copies of the plat to Kayleen Rosser by no later than Tuesday, May 25, 2021 for consideration at the June 1, 2021 Planning and Zoning meeting.

Should you have any questions, please do not hesitate to call me.

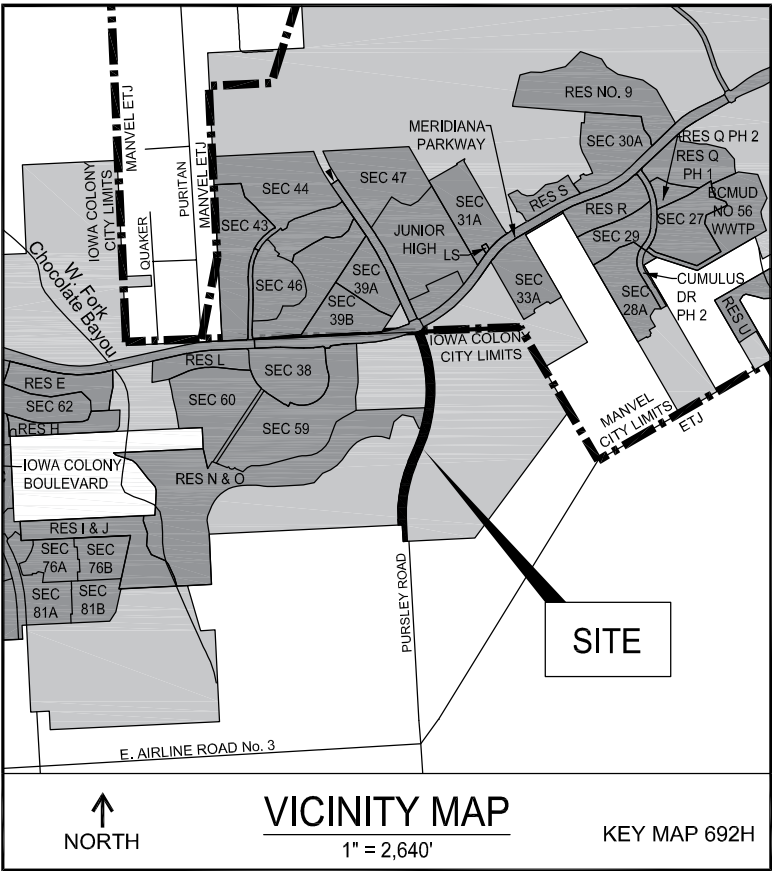
Sincerely,  
Adico, LLC

  
Dinh V. Ho, P.E.  
TBPE Firm No. 16423

Copy

Cc: Kayleen Rosser, City Secretary, ([krosser@iowacolonytx.us](mailto:krosser@iowacolonytx.us))  
Ron Cox, City Manager ([rcox@iowacolonytx.us](mailto:rcox@iowacolonytx.us))  
File: 16007-2-191





GENERAL NOTES:

- Bearing orientation is based on the Texas State Plane Coordinate System of 1983, South Central Zone as determined by GPS measurements.
- The Coordinates shown hereon are Texas South Central Zone No. 4204 state plane grid coordinates (NAD 83) and may be brought to surface by applying the following scale factor: 0.99986742185.
- According to the Federal Emergency Management Agency Flood Insurance Rate Map, Brazoria County, Texas, Community Panel No.48039C0110K, dated December 30, 2020, the property lies within Zone AE.  
This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man-made or natural causes. The location of the flood zone was determined by scaling from said FEMA map. The actual location, as determined by elevation contours, may differ. Edminster, Hinshaw, Russ & Associates, Inc. d/b/a EHRA, assumes no liability as to the accuracy of the location of the flood zone limits. This flood statement shall not create liability on the part of Edminster, Hinshaw, Russ & Associates, Inc. d/b/a EHRA.
- B.C.C.F. indicates Brazoria County Clerk's File.  
B.C.P.R. indicates Brazoria County Plat Records.  
B.L. indicates Building Line.  
D.E. indicates Drainage Easement.  
M.H. indicates Manhole.  
P.C. indicates Page.  
P.A.E. indicates Permanent Access Easement.  
P.O.B. indicates Point of Beginning.  
P.U.E. indicates Public Utility Easement.  
P.V.I. indicates Private.  
R indicates Radius.  
R.O.W. indicates Right-Of-Way.  
S.S.E. indicates Sanitary Sewer Easement.  
S.T.M.S.E. indicates Storm Sewer Easement.  
U.E. indicates Utility Easement.  
V.O.L. indicates Volume.  
W.L.E. indicates Water Line Easement.  
X indicates change in street name.
- The property subdivided in the foregoing plat lies in Brazoria County, the City of Iowa Colony, and Alvin Independent School District.
- Property within the boundaries of this plat and adjacent to any drainage easement, ditch, gully, creek, or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences, buildings, plantings, and other obstructions.
- Contour lines shown hereon are based on the NGS Benchmark E 306 being noted hereon.
- Preliminary, this document shall not be recorded for any purpose and shall not be used or relied upon as a final survey document.
- The approval of the preliminary plat shall expire twelve (12) months after City Council approval unless the final plat has been submitted for final approval during that time. An extension of time may be given at the discretion of the City Council for a single extension period of six (6) months.
- Drainage plans to be provided prior to final plat submittal.
- One foot reserve dedicated to the public in fee as a buffer separation between the side or ends of streets where such streets abut adjacent property, the condition of such dedication being that when the adjacent property is subdivided or re-subdivided in a record plat the one foot reserve shall hereupon become vested in the public for right-of-way purposes and the fee title there shall revert to and vest in the dedicators, his heirs, assigns, or successors.
- This plat is subject to the Development Agreement for Meridiana PUD Amendment No. 3.

OWNER CONTACT INFORMATION  
GR-M1, LTD., A TEXAS LIMITED PARTNERSHIP  
1602 AVENUE D, STE. 100  
KATY, TX 77493  
832-916-2162

LINE TABLE

LINE	ANGLE	DISTANCE
L1	N 66°22'08" E	52.37'
L2	S 87°19'17" E	72.25'
L3	S 87°10'00" W	60.00'
L4	S 87°16'49" W	60.00'
L5	N 02°50'17" W	80.01'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	2,060.00'	1,683.36'	S 00°13'16" E	1,636.91'
C2	1,690.00'	767.70'	S 10°10'31" W	761.11'
C3	1,810.00'	822.21'	N 10°10'31" E	815.16'
C4	1,940.00'	1,585.30'	N 00°13'16" W	1,541.56'

BENCHMARK(S):

NGS MONUMENT # E 306 DISK SET IN TOP OF CONCRETE MONUMENT, LOCATED 2.0 MILES WEST OF MANVEL, 2 MILES WEST ALONG THE GULF, COLORADO AND SANTA FE RAILWAY FROM THE STATION AT MANVEL, BRAZORIA COUNTY, 0.2 MILE WEST OF A SHELL-ROAD CROSSING, 1/2 FEET NORTHWEST OF MILE POLE 38, 39 FEET SOUTH OF THE SOUTH RAIL, 33 FEET NORTH OF THE CENTERLINE OF A DIRT ROAD, 6.7 FEET NORTH OF THE RIGHT-OF-WAY FENCE, 3 FEET WEST OF A WHITE WOODEN WITNESS POST AND SET IN THE TOP OF A CONCRETE POST ABOUT FLUSH WITH THE GROUND.  
ELEV.=52.00 (NAVD '88) 1991 ADJUSTMENT

Meridiana Pursley Boulevard Phase 6A

A Subdivision of 7.84 acres out of the H. & T. C. R.R. Survey, A-282; the H. & T. C. R.R. Survey, A-287; and the H. & T. C. R.R. Survey, A-514, City of Iowa Colony and City of Alvin, Brazoria County, Texas.

Owner: GR-M1, LTD., a Texas Limited Partnership

May 18, 2021



10011 MEADOWGLEN LANE  
HOUSTON, TEXAS 77042  
713.784.4500  
WWW.EHRAINCO.COM  
TBPE No. F - 726  
TBPLS No. 10092300

EHRA JOB NO.  
081-011-122

No warranty or representation of intended use, design or proposed improvements are made herein. All Plans for land or facilities are subject to change without notice.



Monday, May 24, 2021

Brad Sweitzer  
EHRA Inc.  
10555 Westoffice Dr.  
Houston, TX 77042

**Re: Meridiana Detention Reserve P Preliminary Plat  
Letter of Recommendation to Approve  
City of Iowa Colony Project No. SPP 210510-0643  
Adico, LLC Project No. 16007-2-192**

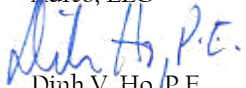
Dear Mr. Sweitzer;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the second submittal of the preliminary plat package for Meridiana Detention Reserve P, received on or about May 19, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance No. 2019-09 dated August 2002 and as amended.

Based upon our review, we have no objections to the plat as resubmitted. Please provide ten (10) copies of the plat to Kayleen Rosser by no later than Tuesday, May 25, 2021 for consideration at the June 1, 2021 Planning and Zoning meeting.

Should you have any questions, please do not hesitate to call me.

Sincerely,  
Adico, LLC

  
Dinh V. Ho, P.E.  
TBPE Firm No. 16423

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Cc: Kayleen Rosser, City Secretary, ([krosser@iowacolonytx.us](mailto:krosser@iowacolonytx.us))  
Ron Cox, City Manager ([rcox@iowacolonytx.us](mailto:rcox@iowacolonytx.us))  
File: 16007-2-192



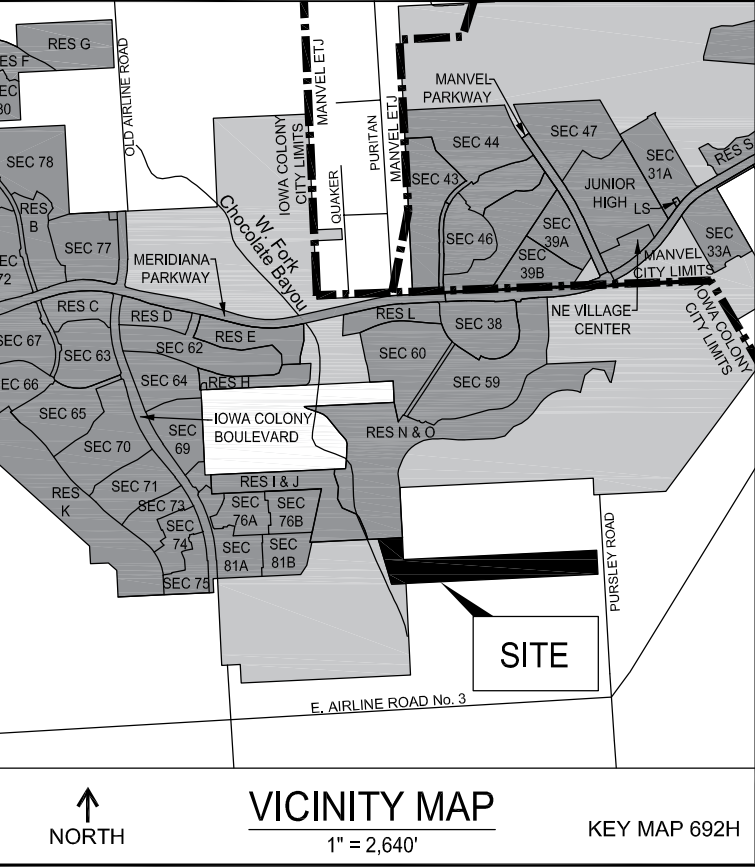
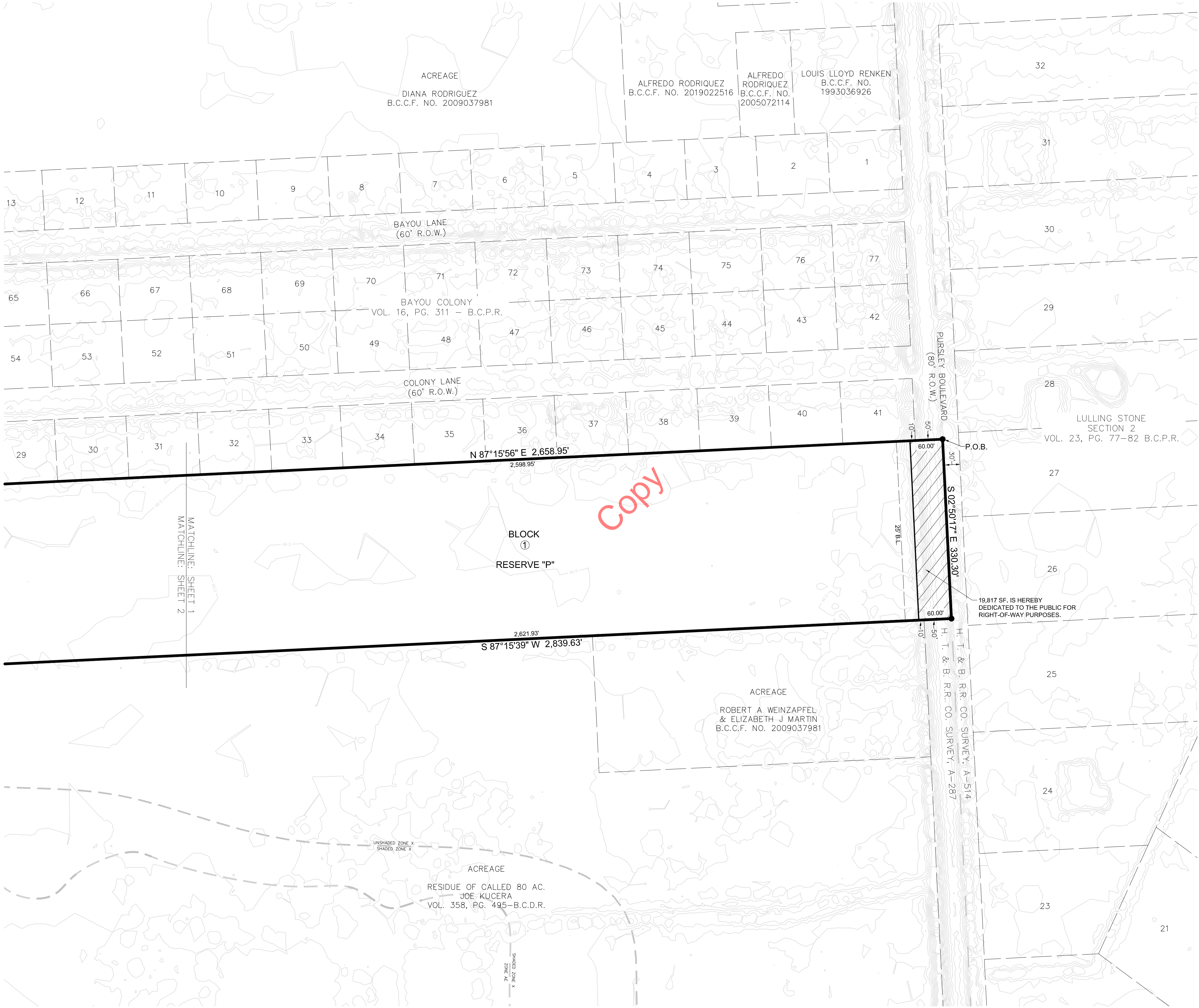
GENERAL NOTES:

- Bearing orientation is based on the Texas State Plane Coordinate System of 1983, South Central Zone as determined by GPS measurements.
- The Coordinates shown hereon are Texas South Central Zone No. 4204 state plane grid coordinates (NAD 83) and may be brought to surface by applying the following scale factor: 0.99986742185.
- According to the Federal Emergency Management Agency Flood Insurance Rate Map, Brazoria County, Texas, Community Panel No.48039C0120K, dated December 30, 2020, the property lies partially within Unshaded Zone X, partially within Shaded Zone X, partially within Zone AE, and partially within the Floodway.  
  
This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man-made or natural causes. The location of the flood zone was determined by scaling from said FEMA map. The actual location, as determined by elevation contours, may differ. Edminster, Hinshaw, Russ & Associates, Inc. d/b/a EHRA, assumes no liability as to the accuracy of the location of the flood zone limits. This flood statement shall not create liability on the part of Edminster, Hinshaw, Russ & Associates, Inc. d/b/a EHRA.
- B.C.C.F. indicates Brazoria County Clerk's File.  
B.C.P.R. indicates Brazoria County Plat Records.  
B.L. indicates Building Line.  
D.E. indicates Drainage Easement.  
M.H. indicates Manhole.  
P.G. indicates Page.  
P.A.E. indicates Permanent Access Easement.  
P.O.B. indicates Point of Beginning.  
P.U.E. indicates Public Utility Easement.  
P.V.T. indicates Private.  
R indicates Radius.  
R.O.W. indicates Right-Of-Way.  
S.S.E. indicates Sanitary Sewer Easement.  
S.T.M.S.E. indicates Storm Sewer Easement.  
U.E. indicates Utility Easement.  
VOL. indicates Volume.  
W.L.E. indicates Water Line Easement.  
↗ indicates change in street name.
- The property subdivided in the foregoing plot lies in Brazoria County, the City of Iowa Colony, and Alvin Independent School District.
- Property within the boundaries of this plot and adjacent to any drainage easement, ditch, gully, creek, or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences buildings, plantings, and other obstructions.
- Drainage District #5 shall be responsible for the maintenance of Reserve A and Municipal Utility District #59 shall be responsible for the maintenance of Reserve P. Contour lines shown hereon are based on the NGS Benchmark E 306 being noted hereon.
- Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.
- The approval of the preliminary plat shall expire twelve (12) months after City Council approval unless the final plat has been submitted for final approval during that time. An extension of time may be given at the discretion of the City Council for a single extension period of six (6) months.
- Drainage plans to be provided prior to final plat submittal.
- This plot is subject to the Development Agreement for Meridiano PUD Amendment No. 3.

OWNER CONTACT INFORMATION  
GR-M1, LTD., A TEXAS LIMITED PARTNERSHIP  
1602 AVENUE D, STE. 100  
KATY, TX 77493  
832-916-2162

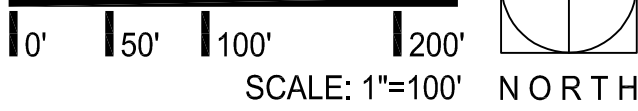
BENCHMARK(S):

NGS MONUMENT # E 306 DISK SET IN TOP OF CONCRETE MONUMENT, LOCATED 2.0 MILES WEST OF MANVEL, 2 MILES WEST ALONG THE GULF, COLORADO AND SANTA FE RAILWAY FROM THE STATION AT MANVEL, BRAZORIA COUNTY, 0.2 MILE WEST OF A SHELL-ROAD CROSSING, 5-1/2 FEET NORTHWEST OF MILE POLE 38, 39 FEET SOUTH OF THE SOUTH RAIL, 33 FEET NORTH OF THE CENTERLINE OF A DIRT ROAD, 6.7 FEET NORTH OF THE RIGHT-OF-WAY FENCE, 3 FEET WEST OF A WHITE WOODEN WITNESS POST AND SET IN THE TOP OF A CONCRETE POST ABOUT FLUSH WITH THE GROUND.  
ELEV.=52.00 (NAVD '88) 1991 ADJUSTMENT



RESERVE TABLE

RESERVE	RESTRICTIONS	SQ. FT.	ACREAGE
A	DRAINAGE, LANDSCAPE, OPEN SPACE, RECREATION, & UTILITY PURPOSES	98,373.94	2.25
P	DETENTION, DRAINAGE, LANDSCAPE, OPEN SPACE, RECREATION, & UTILITY PURPOSES	941,174.27	21.61
		1,039,548.21	23.86



Meridiana Detention Reserve P

A Subdivision of 23.86 acres out of the H.T. & B. R.R. Co. Survey, Section 53, A-287, City of Iowa Colony, Brazoria County, Texas.

1 Block and 2 Reserves

Owner: GR-M1, LTD., a Texas Limited Partnership

Sheet 1 of 2

May 18, 2021

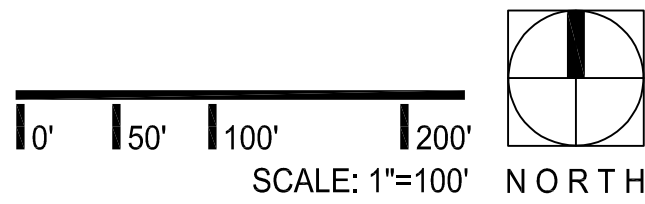
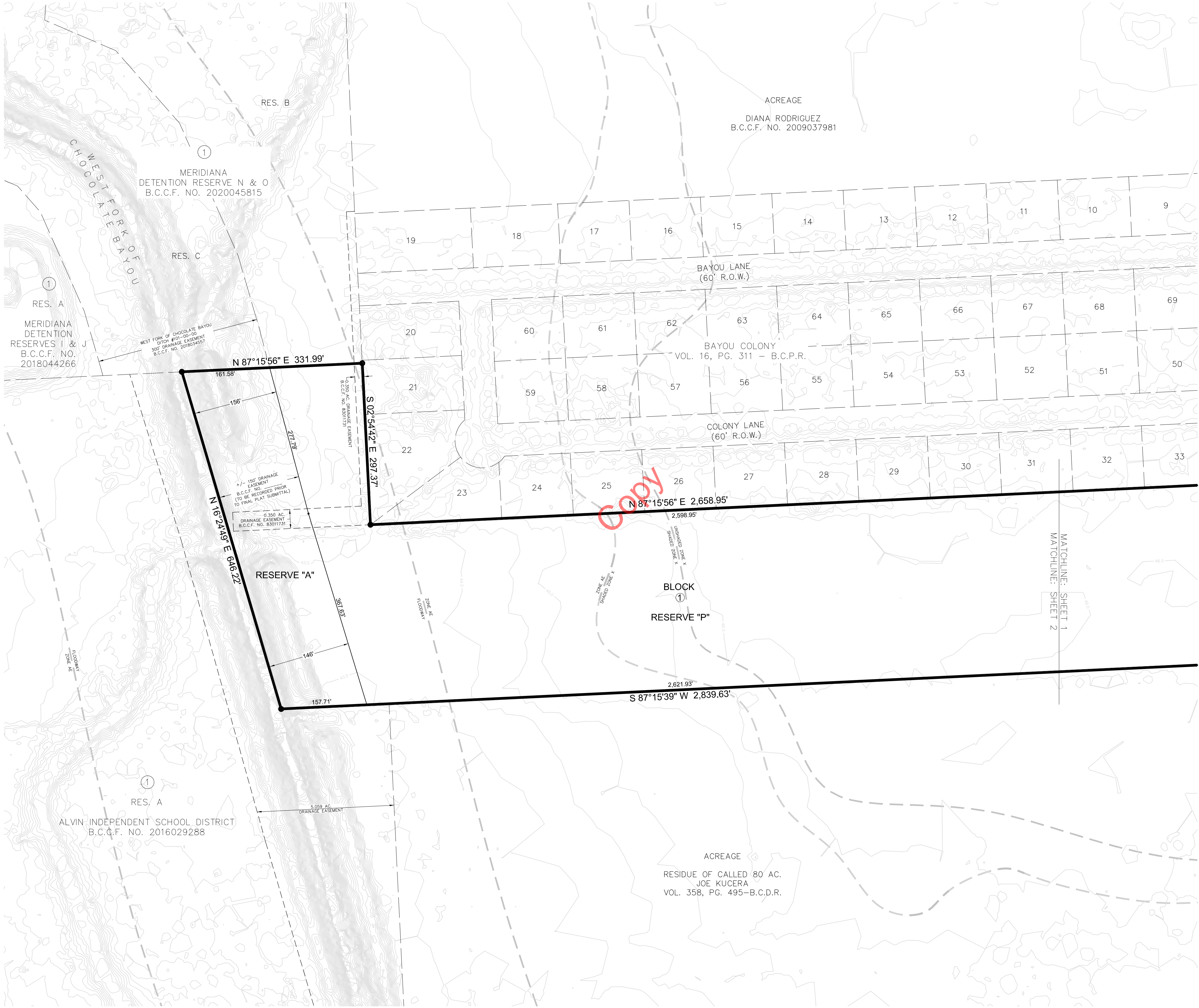


ENGINEERING THE FUTURE  
SINCE 1936

EHRA JOB NO.  
081-011-118

10011 MEADOWGLEN LANE  
HOUSTON, TEXAS 77042  
713.784.4500  
WWW.EHRAINCCOM  
TBE No. F-726  
TBP L No. 10092300







Monday, May 24, 2021

Brad Sweitzer  
EHRA Inc.  
10555 Westoffice Dr.  
Houston, TX 77042

Re: Meridiana Section 58A Preliminary Plat  
Letter of Recommendation to Approve  
City of Iowa Colony Project No. SPP 240510-0642  
Adico, LLC Project No. 16007-2-193

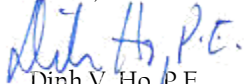
Dear Mr. Sweitzer;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the second submittal of the preliminary plat package for Meridiana Section 58A, received on or about May 19, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance No. 2019-09 dated August 2002 and as amended.

Based upon our review, we have no objections to the plat as resubmitted. Please provide ten (10) copies of the plat to Kayleen Rosser by no later than Tuesday, May 25, 2021 for consideration at the June 1, 2021 Planning and Zoning meeting.

Should you have any questions, please do not hesitate to call me.

Sincerely,  
Adico, LLC

  
Dinh V. Ho, P.E.  
TBPE Firm No. 16423

Copy

Cc: Kayleen Rosser, City Secretary, ([krosser@iowacolonytx.us](mailto:krosser@iowacolonytx.us))  
Ron Cox, City Manager ([rcox@iowacolonytx.us](mailto:rcox@iowacolonytx.us))  
File: 16007-2-193



GENERAL NOTES:

- Bearing orientation is based on the Texas State Plane Coordinate System of 1983, South Central Zone as determined by GPS measurements.
- The Coordinates shown herein are Texas South Central Zone No. 4204 state plane grid coordinates (NAD 83) and may be brought to surface by applying the following scale factor: 0.99986742185.
- According to the Federal Emergency Management Agency Flood Insurance Rate Map, Brazoria County, Texas, Community Panel No.48039C0110K, dated December 30, 2020, the property lies within Unshaded Zone X.  
This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man-made or natural causes. The location of the flood zone was determined by scaling from said FEMA map. The actual location, as determined by elevation contours, may differ. Edminster, Hinshaw, Russ & Associates, Inc. d/b/a EHRA, assumes no liability as to the accuracy of the location of the flood zone limits. This flood statement shall not create liability on the part of Edminster, Hinshaw, Russ & Associates, Inc. d/b/a EHRA.
- B.C.C.F. indicates Brazoria County Clerk's File.  
B.C.P.R. indicates Brazoria County Plat Records.  
B.L. indicates Building Line.  
D.E. indicates Drainage Easement.  
V.H. indicates Volume.  
P.G. indicates Page.  
P.A.E. indicates Permanent Access Easement.  
P.O.B. indicates Point of Beginning.  
P.U.E. indicates Public Utility Easement.  
P.V. indicates Private.  
R. indicates Radius.  
R.O.W. indicates Right-of-Way.  
S.S.E. indicates Sanitary Sewer Easement.  
S.M.S.E. indicates Storm Sewer Easement.  
U.E. indicates Utility Easement.  
VOL. indicates Volume.  
W.L.E. indicates Water Line Easement.  
X indicates change in street name.
- The property subdivided in the foregoing plot lies in Brazoria County, the City of Iowa Colony, Brazoria County Drainage District No. 55, and Brazoria County Drainage District No. 5.
- Property within the boundaries of this plot and adjacent to any drainage easement, ditch, gully, creek, or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences buildings, plantings, and other obstructions.
- The Developer/Homeowners' Association shall be responsible for maintenance of all reserves.
- Contour lines shown herein are based on the NGS Benchmark E 306 being noted hereon.
- Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.
- The approval of the preliminary plat shall expire twelve (12) months after City Council approval unless the final plat has been submitted for final approval during that time. An extension of time may be given at the discretion of the City Council for a single extension period of six (6) months.
- Drainage plans to be provided prior to final plat submittal.
- No more than thirty-five (35) homes will be constructed in this section prior to the recordation of Meridiana Section 57.
- One-foot reserves dedicated to the public in fee as a buffer separation between the side or end of streets in subdivisions where such streets abut adjacent acreage tract, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one-foot reserves shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs, assigns, or successors.
- The emergency access provided must be 24 feet in width and have a traffic load rating of H-20 as specified by the American Association of State and Highway Officials (AASHTO).
- This plat is subject to the Development Agreement for Meridiana PUD Amendment Number 3.
- Drainage plans to be provided prior to final plat submittal.

BENCHMARK(S):

NGS MONUMENT # E 306 DISK SET IN TOP OF CONCRETE MONUMENT, LOCATED 2.0 MILES WEST OF MANVEL, 2 MILES WEST ALONG THE GULF, COLORADO AND SANTA FE RAILWAY FROM THE STATION AT MANVEL, BRAZORIA COUNTY, 0.2 MILE WEST OF A SHELL-ROAD CROSSING, 5-1/2 FEET NORTHWEST OF MILE POLE 38, 39 FEET SOUTH OF THE SOUTH RAIL, 33 FEET NORTH OF THE CENTERLINE OF A DIRT ROAD, 6.7 FEET NORTH OF THE RIGHT-OF-WAY FENCE, 3 FEET WEST OF A WHITE WOODEN WITNESS POST AND SET IN THE TOP OF A CONCRETE POST ABOUT FLUSH WITH THE GROUND.  
ELEV.=52.00 (NAVD '88) 1991 ADJUSTMENT

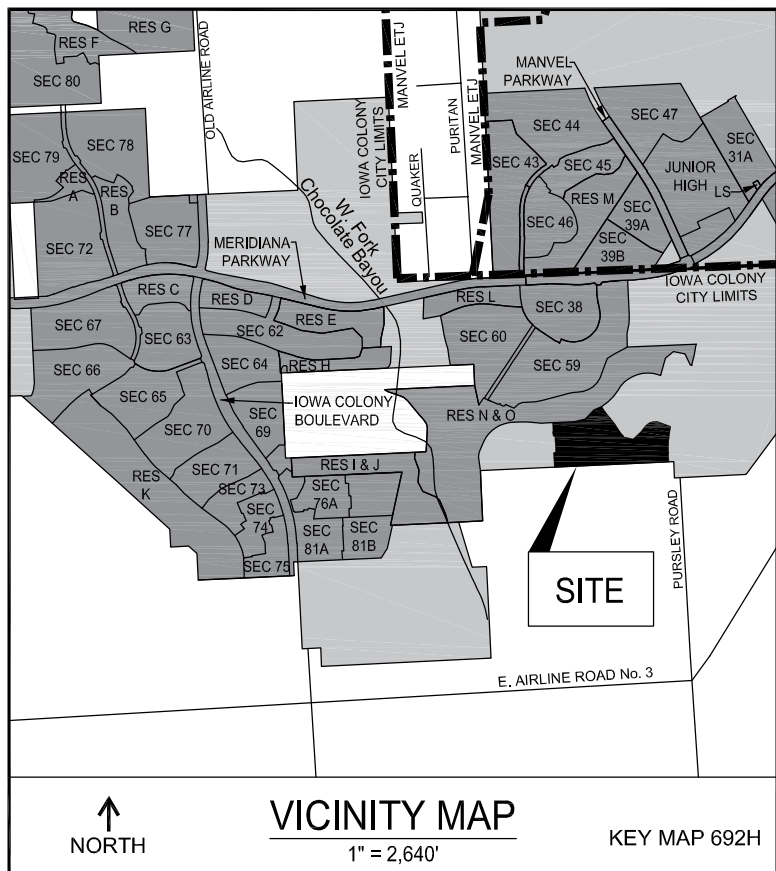
OWNER CONTACT INFORMATION  
GR-M1, LTD., A TEXAS LIMITED PARTNERSHIP  
1602 AVENUE D, STE. 100  
KATY, TX 77493  
832-916-2162

RESERVE TABLE

RESERVE	RESTRICTIONS	SQ. FT	ACREAGE
A	LANDSCAPE, OPEN SPACE, & UTILITY PURPOSES	6,077.85	0.14
B	LANDSCAPE, OPEN SPACE, & UTILITY PURPOSES	36,319.81	0.07
C	LANDSCAPE, OPEN SPACE, & UTILITY PURPOSES	3,032.05	0.83
TOTAL		45,429.74	1.04

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1810.00'	407.76'	N 77°05'32" E	406.90'
C2	25.00'	39.27'	N 87°16'49" E	36.40'
C3	25.00'	39.27'	N 02°43'11" W	35.35'



LINE TABLE

LINE	ANGLE	DISTANCE
L1	N 66°06'22" E	118.57'
L2	S 36°14'48" E	164.78'
L3	S 46°23'15" E	24.03'
L4	S 36°42'32" E	112.64'
L5	S 33°39'17" E	132.05'
L6	S 39°18'00" E	89.94'
L7	S 79°20'24" E	123.14'
L8	N 48°14'55" E	140.26'
L9	N 36°35'54" E	79.30'
L10	N 43°20'41" E	51.47'
L11	N 55°03'39" E	49.23'
L12	N 71°42'47" E	49.23'
L13	N 88°21'54" E	49.23'
L14	S 02°49'47" E	80.33'
L15	N 02°43'11" W	195.00'
L16	N 02°43'11" W	190.00'
L17	N 02°43'11" W	50.00'
L18	N 87°16'49" E	4.53'
L19	N 02°43'11" W	127.00'

May 18, 2021

**Meridiana Section 58A**  
A Subdivision of 20.71 acres out of the H.T. & B. R.R. Co. Survey, Section 53, A-287, City of Iowa Colony, Brazoria County, Texas.

82 Lots, 3 Blocks and 3 Reserves  
Owner: GR-M1, LTD., a Texas Limited Partnership



EHRA JOB NO. 081-011-58

10011 MEADOWGLEN LANE  
HOUSTON, TEXAS 77042  
713.7844500  
WWW.EHRAINCCOM  
TBE No. F-726  
TBP/LS No. 10092300

No warranty or representation of intended use, design or construction is made by EHRA. All drawings are subject to change without notice.



Tuesday, May 25, 2021

Stan Winter  
Jones Carter  
1575 Sawdust Road, Suite 400  
The Woodlands, TX 77380

Re: Sierra Vista West Section II Preliminary Plat  
Letter of Recommendation to Approve  
CIOC Project No. SPP 210510-0647  
ALLC Project No. 16007-2-190

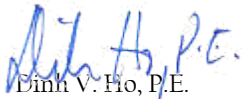
Dear Mr. Winter;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the second submittal for Sierra Vista West Section II Preliminary Plat received on or about May 25, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance dated August 2002 and as amended.

Based upon our review, we have no objections to the plat as resubmitted. Please provide ten (10) folded copies of the plat to Kayleen Rosser by no later than May 26, 2021 for consideration at the June 1, 2021 Planning and Zoning Commission.

Should you have any questions, please do not hesitate to call our office.

Sincerely,  
Adico, LLC

  
Binh V. Ho, P.E.  
TBPE Firm No. 16423

Copy

Cc: Kayleen Rosser, City Secretary ([krosser@iowacolonytx.us](mailto:krosser@iowacolonytx.us))  
Ron Cox, City Manager ([rcox@iowacolonytx.us](mailto:rcox@iowacolonytx.us))  
File: 16007-2-190



Line Table		
Line	Bearing	Distance
L1	N24°06'51"E	150.81'
L2	N24°06'51"E	31.95'
L3	N54°15'09"E	586.95'
L4	N69°26'19"E	112.79'
L5	N68°24'59"E	130.61'
L6	S28°30'06"E	36.68'
L7	S59°08'18"E	268.40'
L8	S2°46'12"E	891.43'
L9	S02°35'30"E	39.85'
L10	N02°35'30"E	40.00'
L11	N02°36°43"E	210.30'
L12	N02°44'32"E	354.46'
L13	N87°24'30"E	389.59'
L14	N02°36°43"E	502.34'
L15	N02°50'18"E	62.93'
L16	N07°16°36"E	71.48'
L17	N12°37'59"E	71.48'
L18	N19°39'21"E	71.48'
L19	N25°50'44"E	71.48'
L20	N32°02°06"E	71.48'
L21	N38°13'29"E	71.48'
L22	N44°24'52"E	71.48'
L23	N50°25'51"E	69.32'
L24	N52°32'03"E	180.00'
L25	N51°54'55"E	58.35'
L26	N46°26'26"E	56.70'
L27	N42°20'49"E	56.70'
L28	N37°51'12"E	56.70'
L29	N32°51'47"E	58.72'
L30	N32°21'18"E	60.00'
L31	N34°15'22"E	68.17'
L32	N39°32'27"E	69.80'
L33	N44°37'44"E	69.74'
L34	N49°52'29"E	69.74'
L35	N55°07'13"E	69.74'
L36	N60°21'58"E	69.74'

Line	Line Table	
	Bearing	Distance
L37	N65°36'43"W	69.74'
L38	N70°51'27"W	69.74'
L39	N76°10'12"E	69.74'
L40	N80°20'56"W	69.74'
L41	N86°35'41"W	69.74'
L42	S88°09'35"W	69.74'
L43	S82°44'50"W	69.74'
L44	S77°40'05"W	69.74'
L45	S72°25'21"W	69.74'
L46	S61°10'36"W	69.74'
L47	S65°55'52"W	69.74'
L48	S56°41'07"W	69.74'
L49	S58°28'22"W	69.74'
L50	S44°17'33"W	181.56'
L51	S51°36'45"E	53.18'
L52	S57°44'52"E	116.60'
L53	S71°41'22"W	143.28'
L54	S78°30'27"W	55.33'
L55	S85°05'15"E	56.40'
L56	S89°10'30"W	139.97'
L57	N65°53'09"W	37.00'
L58	S65°04'38"W	98.93'
L59	N69°30'39"W	24.40'
L60	S57°11'04"E	228.02'
L61	S76°25'53"E	244.44'
L62	S82°59'45"E	71.58'
L63	S88°17'05"E	71.57'
L64	N86°34'40"E	65.05'
L65	N85°34'40"E	409.59'
L66	S04°05'20"E	208.09'
L67	N87°23'17"E	356.52'
L68	S02°36'21"E	27.75'
L69	S02°36'43"E	210.26'
L70	S02°35'30"E	40.00'
L71	N47°36'47"W	292.58'
L72	N02°35'30"E	24.30'

Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	185.00'	40°17'46"	130.11'	N44°15'44"E	127.45'	67.88'
C2	110.00'	50°27'14"	96.86'	N39°11'00"E	93.77'	51.83'
C3	185.00'	40°17'46"	130.11'	N34°06'16"E	127.45'	67.88'
C4	2460.00'	8°34'37"	368.25'	N58°32'28"E	367.91'	184.47'
C5	500.00'	6°16'33"	54.77'	N65°58'03"E	54.74'	27.41'
C6	35.00'	82°16'29"	50.26'	S69°04'26"E	46.05'	30.57'
C7	1860.00'	30°04'18"	976.22'	S44°06'09"E	965.06'	499.63'
C8	1740.00'	38°10'25"	1159.28'	S40°03'06"E	1137.96'	602.08'
C9	940.00'	18°11'42"	298.51'	S11°52'03"E	297.25'	150.52'
C10	25.00'	90°09'29"	39.34'	S42°18'33"W	35.40'	25.07'
C11	35.00'	89°58'48"	54.97'	N47°36'07"W	49.49'	34.99'

- # SIERRA VISTA WEST
- ## SEC 11

**A SUBDIVISION OF 72.86 ACRES OF LAND  
OUT OF THE  
LAVACA NAVIGATION COMPANY SURVEY SECTION 1, A-329,  
BEING A PARTIAL REPLAT OF NICHOLS AND KIRKPATRICK FIG CO.  
SUBDIVISION VOL 3, PG. 66, P.R.B.C.T.  
BRAZORIA COUNTY, TEXAS**

## 2 BLOCKS

PLANNER:



OWNER/ DEVELOPER:  
**LAND TEJAS SIERRA VISTA WEST, LLC**  
 A TEXAS LIMITED LIABILITY COMPANY  
 2450 FONDREN, STE 210  
 HOUSTON, TX 77063



Tuesday, May 25, 2021

Travis Harrison, P.E.  
Elevation Land Solutions  
2445 Technology Forest Blvd., Suite 200  
The Woodlands, TX 77381

**Re: Sierra Vista West Section 4 Final Plat  
Letter of Recommendation to Approve  
City of Iowa Colony Project No. SFP 210310-0258  
Adico, LLC Project No. 16007-2-180**

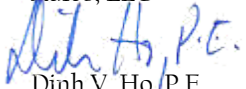
Dear Mr. Harrison,

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the second submittal of Sierra Vista West Section 4 final plat package received on or about May 25, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance dated August 2002 and as amended.

Based upon our review, we have no objections to the final plat as resubmitted on May 25, 2021. Please provide two (2) mylars and ten (10) folded copies of the plat to Kayleen Rosser, City Secretary, by no later than Wednesday, May 25, 2021 for consideration at the June 1<sup>st</sup> Planning and Zoning meeting.

Should you have any questions, please do not hesitate to contact our office.

Sincerely,  
Adico, LLC

  
Dinh V. Ho, P.E.  
TBPE Firm No. 16423

Copy

Cc: Kayleen Rosser, City Secretary, ([krosser@iowacolonytx.gov](mailto:krosser@iowacolonytx.gov))  
Ron Cox, City Manager ([rcox@rcoxconsulting.com](mailto:rcox@rcoxconsulting.com))  
File: 16007-2-180



Left to Site  
Bridg. to S32  
20180409.134

N

GRAPHIC SCALE

100 0 50 100 200 400

( IN FEET )  
1 inch = 100 ft.

**FINAL PLAT  
SIERRA VISTA WEST  
SEC 4**

**OWNER/  
DEVELOPER:** LAND TEJAS SIERRA VISTA WEST, LLC.  
2450 FONDREN ROAD, SUITE 210  
HOUSTON, TEXAS 77063  
(713) 783-6702

SHEET 1 OF 3





CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD
C1	2057.45'	134.01'	003°43'54"	N04°39'32"W	133.98'
C2	525.00'	32.45'	003°32'30"	N05°20'38"W	32.45'
C3	30.00'	47.12'	090°00'00"	S69°06'51"W	42.43'
C4	29.96'	46.14'	088°13'15"	S21°50'33"E	41.71'
C5	2015.13'	385.93'	010°58'23"	S16°46'53"W	385.34'
C6	1782.00'	112.84'	003°37'41"	N14°18'10"W	112.82'
C7	25.00'	13.39'	030°41'41"	N27°50'10"W	13.23'
C8	50.00'	65.84'	075°27'01"	N05°27'30"W	61.19'
C9	800.00'	131.11'	009°23'24"	S61°11'27"E	130.96'
C10	300.00'	190.06'	036°17'58"	S74°38'44"E	186.90'
C11	50.00'	78.54'	090°00'00"	N42°12'17"E	70.71'
C12	50.00'	78.54'	090°00'00"	N47°47'43"W	70.71'
C13	1757.00'	107.43'	003°30'12"	N14°21'54"W	107.42'
C14	50.00'	87.11'	099°49'05"	N37°17'45"E	76.50'
C15	800.00'	345.82'	024°46'04"	N74°49'15"E	343.14'
C16	500.00'	391.51'	044°51'49"	N84°52'07"E	381.58'
C17	50.00'	72.59'	083°11'11"	N65°42'27"E	66.38'
C18	375.00'	218.11'	033°19'27"	S21°13'46"W	215.05'
C19	1300.00'	312.60'	013°46'38"	S31°00'10"W	311.84'
C20	50.00'	78.54'	090°00'00"	S69°06'51"W	70.71'
C21	50.00'	78.54'	090°00'00"	N20°53'09"W	70.71'
C22	300.00'	188.14'	035°55'57"	N04°56'49"W	185.07'
C23	500.00'	217.05'	024°52'19"	N25°27'20"E	215.35'
C24	1000.00'	240.46'	013°46'38"	N31°00'10"E	239.88'
C25	600.00'	307.54'	029°22'04"	S01°39'52"E	304.18'
C26	800.00'	347.28'	024°52'19"	S25°27'20"W	344.56'
C27	700.00'	182.20'	014°54'47"	S30°26'06"W	181.68'
C28	300.00'	126.53'	024°09'56"	S80°42'45"E	125.60'
C29	50.00'	78.54'	090°00'00"	S47°47'43"E	70.71'
C30	500.00'	6.79'	000°46'40"	S03°11'03"E	6.79'
C31	2000.00'	130.10'	003°43'38"	N04°39'32"W	130.08'
C32	500.00'	117.04'	013°24'41"	S59°10'48"E	116.77'
C33	500.00'	15.65'	001°47'37"	N66°46'57"W	15.65'
C34	25.00'	43.25'	099°07'21"	S18°07'05"E	38.05'
C35	25.00'	40.23'	092°12'22"	N77°24'04"E	36.03'
C36	25.00'	40.31'	092°22'44"	N10°18'23"W	36.08'
C37	25.00'	40.06'	091°49'03"	S81°37'01"W	35.91'
C38	25.00'	13.29'	030°27'58"	N08°52'52"E	13.14'
C39	50.00'	131.71'	150°55'56"	S69°06'51"W	96.80'
C40	25.00'	13.29'	030°27'58"	S50°39'10"E	13.14'
C41	25.00'	39.27'	090°00'00"	S69°06'51"W	35.36'
C42	25.00'	13.29'	030°27'58"	S81°07'08"E	13.14'
C43	50.00'	131.71'	150°55'56"	N20°53'09"W	96.80'
C44	25.00'	13.29'	030°27'58"	S39°20'50"W	13.14'
C45	25.00'	39.27'	090°00'00"	N20°53'09"W	35.36'
C46	25.00'	21.03'	048°11'23"	N48°12'33"E	20.41'
C47	50.00'	241.19'	276°22'46"	S65°53'09"E	66.67'
C48	25.00'	21.03'	048°11'23"	S00°01'10"W	20.41'
C49	25.00'	38.12'	087°22'25"	S12°48'33"E	34.54'
C50	25.00'	40.54'	092°54'11"	N77°03'09"E	36.24'
C51	25.00'	40.64'	093°07'51"	N09°55'50"W	36.31'
C52	25.00'	38.03'	087°10'04"	S79°55'13"W	34.47'
C53	25.00'	21.03'	048°11'23"	N00°01'10"E	20.41'
C54	50.00'	241.19'	276°22'46"	N65°53'09"W	66.67'
C55	25.00'	21.03'	048°11'23"	S48°12'33"W	20.41'
C56	25.00'	37.66'	086°19'18"	S13°20'06"E	34.20'
C57	25.00'	41.12'	094°14'43"	N76°22'53"E	36.64'
C58	25.00'	41.18'	094°23'15"	N09°18'08"W	36.68'
C59	25.00'	37.36'	085°36'45"	S80°41'52"W	33.98'
C60	25.00'	15.77'	036°07'52"	S44°42'51"W	15.51'

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD
C61	50.00'	239.25'	274°09'28"	N74°17'58"W	68.10'
C62	25.00'	26.07'	059°44'13"	N01°30'35"W	24.90'
C63	25.00'	39.27'	090°00'00"	S47°47'43"E	35.36'
C64	25.00'	39.27'	090°00'00"	N42°12'17"E	35.36'
C65	25.00'	39.27'	090°00'00"	S42°12'17"W	35.36'
C66	25.00'	39.27'	090°00'00"	N47°47'43"W	35.36'
C67	25.00'	13.08'	029°58'51"	S77°48'17"E	12.93'
C68	50.00'	140.12'	160°34'05"	S36°54'08"W	98.57'
C69	25.00'	17.71'	040°35'14"	N23°05'20"W	17.34'
C70	25.00'	39.27'	090°00'00"	S42°12'17"W	35.36'
C71	25.00'	39.27'	090°00'00"	N42°12'17"E	35.36'
C72	25.00'	39.27'	090°00'00"	N47°47'43"W	35.36'
C73	35.00'	54.98'	090°00'00"	S47°47'43"E	49.50'
C74	35.00'	54.98'	090°00'00"	S42°12'17"W	49.50'
C75	25.00'	13.29'	030°27'58"	N12°28'16"E	13.14'
C76	50.00'	131.71'	150°55'56"	S47°47'43"E	96.80'
C77	25.00'	13.29'	030°27'58"	S71°58'18"W	13.14'
C78	25.00'	39.27'	090°00'00"	S47°47'43"E	35.36'
C79	25.00'	37.98'	087°02'36"	N49°16'25"W	34.43'
C80	25.00'	36.71'	084°07'49"	N45°08'22"E	33.50'
C81	25.00'	17.39'	039°51'25"	N17°07'59"E	17.04'
C82	50.00'	148.10'	169°42'49"	S47°47'43"E	99.60'
C83	25.00'	39.27'	090°00'00"	S47°47'43"E	35.36'
C84	25.00'	17.39'	039°51'25"	S67°16'35"W	17.04'
C85	25.00'	60.30'	138°11'23"	N18°06'36"E	46.71'
C86	50.00'	241.19'	276°22'46"	S87°12'17"W	66.67'
C87	25.00'	60.30'	138°11'23"	S23°42'02"E	46.71'
C88	25.00'	38.45'	088°07'15"	N26°04'05"W	34.77'
C89	25.00'	37.33'	085°33'36"	N67°31'06"E	33.96'
C90	25.00'	43.55'	099°49'05"	S37°17'45"W	38.25'
C91	50.00'	140.46'	160°57'07"	S37°17'33"W	98.62'
C92	25.00'	13.34'	030°33'49"	S77°30'48"E	13.18'
C93	25.00'	40.94'	093°49'21"	N30°33'46"E	36.51'
C94	25.00'	40.94'	093°49'21"	S63°15'35"E	36.51'
C95	25.00'	37.15'	085°08'03"	N19°52'11"E	33.82'
C96	25.00'	37.12'	085°04'47"	S65°09'25"E	33.81'
C97	25.00'	35.59'	081°34'24"	N48°38'15"E	32.66'
C98	25.00'	38.82'	088°57'34"	S35°38'34"E	35.03'
C99	25.00'	18.63'	042°41'24"	N51°21'16"W	18.20'
C100	50.00'	147.10'	168°34'00"	N65°42'27"E	99.50'
C101	25.00'	18.63'	042°41'24"	S02°46'09"W	18.20'
C102	25.00'	36.30'	083°11'11"	N65°42'27"E	33.19'
C103	25.00'	21.03'	048°11'23"	S48°12'33"W	20.41'
C104	25.00'	21.03'	048°11'23"	N00°01'10"E	20.41'
C105	50.00'	241.19'	276°22'46"	N65°53'09"W	66.67'
C106	25.00'	33.81'	077°29'08"	S88°46'58"W	31.29'

RESERVE AREA TABLE			
RESERVE LETTER	AREA (SQ FT)	AREA (AC)	USAGE
A	19492.25	0.4475	1
B	21942.81	0.5037	1
C	3938.96	0.0904	1
D	3334.41	0.0765	1
E	8957.76	0.2056	1
F	15965.06	0.3665	1
G	6631.25	0.1522	1
TOTAL	80262.50	1.8424	

USAGE NOTES:  
1. RESTRICTED TO LANDSCAPE, OPEN SPACE AND UTILITIES

LINE TABLE		
LINE	BEARING	LENGTH
L1	N86°25'37"E	50.00'
L2	N82°53'09"E	126.85'
L3	S02°47'43"E	42.65'
L4	N87°12'17"E	99.22'
L5	N31°26'02"E	64.66'
L6	S73°24'39"E	39.63'
L7	S20°53'09"E	98.99'
L8	S65°53'09"E	24.00'
L9	S23°27'11"W	100.01'
L10	N78°38'17"W	105.20'
L11	N88°28'05"W	70.27'
L12	S84°17'36"W	44.97'
L13	S76°45'12"W	44.97'
L14	S69°42'24"W	45.00'
L15	S65°13'10"W	56.33'
L16	S68°35'20"W	56.33'
L17	S71°44'24"W	67.52'
L18	S77°00'48"W	73.36'
L19	S80°22'59"W	56.33'
L20	S83°17'22"W	56.35'
L21	S73°53'00"W	50.00'
L22	N53°39'05"W	5.50'
L23	N52°42'15"W	5.00'
L24	N24°17'33"W	10.00'
L25	N04°34'02"E	23.44'
L26	N24°06'51"E	13.31'
L27	N22°54'47"W	46.43'
L28	N16°20'54"W	124.10'
L29	N67°01'18"W	9.16'
L30	N68°37'47"W	41.98'
L31	N42°12'17"E	10.00'
L32	N02°47'43"W	143.55'
L33	N68°31'46"E	20.00'
L34	N33°28'19"W	20.00'
L35	N13°18'35"W	20.00'
L36	N69°05'24"E	20.74'
L37	N22°44'54"W	14.59'
L38	N87°06'41"E	20.00'
L39	N24°06'51"E	45.28'
L40	N38°49'17"W	20.00'

LINE TABLE		
LINE	BEARING	LENGTH
L41	N01°07'17"W	92.26'
L42	N09°29'11"E	68.44'
L43	N21°47'25"E	68.73'
L44	N33°55'52"E	68.75'
L45	N16°45'23"W	92.20'
L46	S11°15'19"E	64.15'
L47	S03°04'48"E	64.15'
L48	S05°05'43"W	64.15'
L49	S12°34'15"W	57.11'
L50	N18°11'41"E	63.37'
L51	N24°30'52"E	79.95'
L52	N32°08'00"E	95.52'
L53	N83°18'40"W	47.09'
L54	S65°01'53"E	48.33'
L55	N29°38'35"E	108.72'
L56	N24°54'56"E	99.54'
L57	N29°33'01"E	71.06'
L58	N26°02'31"E	55.94'
L59	N15°25'55"E	92.68'
L60	N24°06'51"E	118.87'

FINAL PLAT NOTES:

- THE PRELIMINARY PLAT WAS APPROVED BY BRAZORIA COUNTY ON 09/12/2018
- THIS PLAT LIES WITHIN THE BRAZORIA COUNTY M.U.D. NO. 53 BOUNDARY.
- THE COORDINATES SHOWN HEREON ARE TEXAS SOUTH CENTRAL ZONE NO. 4204 STATE PLANE GRID COORDINATES (NAD83) AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE OF 1.00013769.
- BOUNDARY CLOSURE CALCULATIONS, THE MINIMUM OF WHICH SHALL BE 1:15,000
- SURVEY MONUMENTS SHALL BE SET TO THE STANDARDS OF THE TEXAS SOCIETY OF PROFESSIONAL LAND SURVEYING PRACTICES ACT AND THE GENERAL RULES OF PROCEDURES AND PRACTICES OF THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND SHALL BEAR REFERENCE CAPS AS INDICATED.
- ALL INTERIOR MONUMENTS SHALL BE SET AFTER CONSTRUCTION OF UTILITIES AND PAVEMENT, AND AFTER LOTS ARE PROPERLY GRADED. LOT CORNERS WILL BE SET 5/8" IRON RODS WITH PLASTIC CAPS STAMPED "MANHARD PROPERTY CORNER".
- BENCHMARK SHOWN HEREON ARE BASED ON TXDOT MONUMENT HV-79C, LOCATED IN THE MEDIAN OF S.H. 288 APPROXIMATELY 125 FEET +/- SOUTH OF C.R. 56 WITH A PUBLISHED ELEVATION OF 49.31 FEET, NAVD 88, 1991 ADJUSTMENT.
- THIS TRACT OF LAND LIES WITHIN UNSHADED ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP NO. 48039C0115K, DATED DECEMBER 30, 2020.
- EACH LOT SHALL BE RESTRICTED TO A SINGLE-FAMILY RESIDENTIAL USE.
- SINGLE FAMILY RESIDENTIAL SHALL MEAN THE USE OF A LOT WITH ONE BUILDING FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING, SLEEPING, COOKING AND EATING THEREIN. A LOT UPON WHICH IS LOCATED A FREE-STANDING BUILDING CONTAINING ONE DWELLING UNIT AND A DETACHED SECONDARY DWELLING UNIT OF NOT MORE THAN 900 SQ. FT. ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT ON ONE LOT THAT IS CONNECTED BY A PARTY WALL TO ANOTHER BUILDING CONTAINING ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE SINGLE FAMILY RESIDENTIAL.
- ALL BUILDING LINES (BL) ALONG THE RIGHT-OF-WAY ARE AS SHOWN HEREON.
- ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR ENDS OF STREETS WHERE SUCH STREETS ABUT ADJACENT PROPERTY, THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS.
- ALL EASEMENT ARE CENTERED ON LOT LINES UNLESS SHOWN OTHERWISE.
- ALL OFF-SITE UTILITY EASEMENTS TO BE DEDICATED BY SEPARATE INSTRUMENT PRIOR TO RECORDATION.
- ABSENT WRITTEN AUTHORIZATION BY THE AFFECTED UTILITIES, ALL UTILITY AND AERIAL EASEMENTS MUST BE KEPT UNOBSTRUCTED FROM ANY NON-UTILITY IMPROVEMENTS OR OBSTRUCTIONS BY THE PROPERTY OWNER. ANY UNAUTHORIZED IMPROVEMENTS OR OBSTRUCTIONS MAY BE REMOVED BY ANY PUBLIC UTILITY AT THE PROPERTY OWNER'S EXPENSE. WHILE WOODEN POSTS AND PANELED WOODEN FENCES ALONG THE PERIMETER AND BACK TO BACK EASEMENTS AND ALONGSIDE REAR LOT LINES ARE PERMITTED, THEY TOO MAY BE REMOVED BY THE PUBLIC UTILITIES AT THE PROPERTY OWNER'S EXPENSE SHOULD THEY BE AN OBSTRUCTION. PUBLIC UTILITIES MAY PUT SAID WOODEN POSTS AND PANELED WOODEN FENCES BACK UP, BUT GENERALLY WILL NOT REPLACE WITH NEW FENCING.
- THERE ARE NO PIPELINES OR PIPELINE EASEMENTS THROUGH THIS SUBDIVISION.
- ALL DRAINAGE EASEMENTS SHOWN HEREON SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, FOUNDATIONS, PLANTINGS AND OTHER OBSTRUCTIONS FOR THE OPERATION AND MAINTENANCE OF DRAINAGE FACILITIES.
- THE PROPERTY SUBDIVIDED IN THE FOREGOING PLAT LIES WITHIN BRAZORIA COUNTY DRAINAGE DISTRICT #5.
- SLAB ELEVATIONS (FINISHED FLOOR) SHALL BE SET AT OR ABOVE THE MINIMUM SLAB ELEVATIONS DEFINED.
- ALL PROPERTY SHALL DRAIN INTO THE DRAINAGE EASEMENT ONLY THROUGH AN APPROVED DRAINAGE STRUCTURE.
- ALL STORM WATER DRAINAGE PIPES, CULVERTS, OR OTHER (INCLUDES DRIVEWAY CULVERTS) WILL BE A MINIMUM 24" I.D. OR EQUIVALENT.
- ALL STORM SEWERS WILL BE MAINTAINED BY BRAZORIA COUNTY M.U.D. NO. 53.
- THIS SUBDIVISION EMPLOYS A DRAINAGE SYSTEM, WHICH UTILIZES STREETS AND ADJACENT PROPERTIES WITHIN THE SUBDIVISION PLAT BOUNDARY TO STORE AND CONVEY STORM WATER. THUS, DURING STORM EVENTS, PONDING OF WATER SHOULD BE EXPECTED TO OCCUR IN THE SUBDIVISION.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL ALL STORM DRAINAGE IMPROVEMENTS, WHICH MAY INCLUDE DETENTION, HAVE BEEN CONSTRUCTED.
- ALL LOTS SHALL HAVE ADEQUATE WASTEWATER FACILITIES.
- ALL WATER AND WASTEWATER FACILITIES SHALL CONFORM TO THE CITY OF IOWA COLONY'S ENGINEERING DESIGN CRITERIA MANUAL.
- EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY UNIT IS PROVIDED ONLY ONE ADDITIONAL SPACE SHALL BE PROVIDED.
- SIDEWALKS MUST BE CONSTRUCTED AS PART OF THE ISSUANCE OF A BUILDING PERMIT FOR EACH LOT.
- A MINIMUM OF 5 FOOT WIDE SIDEWALKS SHALL BE REQUIRED ALONG STREETS AND SHALL CONFORM TO THE CITY OF IOWA COLONY'S ENGINEERING DESIGN CRITERIA MANUAL.
- ALL STREETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF IOWA COLONY'S ENGINEERING DESIGN CRITERIA MANUAL.
- OWNER WILL PROVIDE STREET NAME SIGNS AND TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- FINAL PLAT WILL EXPIRE TWO (2) YEARS AFTER FINAL APPROVAL BY COUNCIL, IF CONSTRUCTION OF THE IMPROVEMENTS HAS NOT COMMENCED WITHIN THE TWO-YEAR INITIAL PERIOD OR THE ONE-YEAR EXTENSION PERIOD GRANTED BY COUNCIL.

FINAL PLAT  
SIERRA VISTA WEST  
SEC 4

A SUBDIVISION OF 62.78 ACRES OF LAND  
OUT



STATE OF TEXAS §  
COUNTY OF BRAZORIA §

A METES & BOUNDS description of a certain 62.78 acre (2,734,539 square feet) tract of land situated in the Lavaca Navigation Company Survey, Abstract No. 329 in Brazoria County, Texas, being a portion of the remainder of a called 501.92 acre tract conveyed to McAllister Opportunity Fund III, L.P. by Special Warranty Deed recorded in Clerk's File No. 2017063409, Brazoria County Official Public Records; said 62.78 acre (2,734,539 square feet) tract of land being more particularly described as follows with all bearings being based on the Texas Coordinate System, South Central Zone, NAD 83;

COMMENCING at a 5/8–inch iron rod (with cap stamped "Baseline") found, being the northwest corner of a called 118.2635 acre tract (Tract 1) conveyed to Land Tejas Sierra Vista West, LLC by Special Warranty Deed recorded in Clerk's File No. 2019027076, Brazoria County Official Public Records, corrected by Correction Affidavit as to a Recorded Original Instrument recorded in Clerk's File No. 2019029817, Brazoria County Official Public Records, being the southwest corner of a called 190.484 acre tract conveyed to Fred and Norma Coogan Family Partnership, Ltd. by Warranty Deed recorded in Clerk's File No. 2002050042, Brazoria County Official Public Records, and being on the east line of a called 8.78 acre tract conveyed to The South Texas Water Company by Deed recorded in Volume 258, Page 261, Brazoria County Deed Records, from which a 5/8–inch iron rod (with cap) found bears North 86°28'56" East, 5,688.04 feet;

THENCE, South 02°47'43" East, 1,197.15 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being a northwest corner of the remainder of said called 501.92 acre tract, being the southwest corner of said called 118.2635 acre tract (Tract 1), being on the east line of said called 8.78 acre tract, and being the northwest corner and POINT OF BEGINNING of the herein described tract;

THENCE, along a north line of the remainder of said called 501.92 acre tract and the south line of said called 118.2635 acre tract (Tract 1), the following twelve (12) bearings and distances:

- North 87°12'17" East, 842.95 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;
- North 86°25'37" East, 50.00 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being the beginning of a non–tangent curve to the left;
- Along said non–tangent curve to the left in a northerly direction, having a radius of 525.00 feet, a central angle of 03°32'30", an arc length of 32.45 feet, and a chord bearing North 05°20'38" West, 32.45 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;
- North 82°53'09" East, 126.85 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;
- South 02°47'43" East, 42.65 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;
- North 87°12'17" East, 99.22 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;
- South 77°47'13" East, 206.45 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;
- North 31°26'02" East, 64.66 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;
- North 87°12'17" East, 154.65 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;
- South 73°24'39" East, 39.63 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;
- South 65°53'09" East, 958.07 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;
- South 20°53'09" East, 98.99 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 65°53'09" East, 24.00 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being a northeast corner of the remainder of said called 501.92 acre tract, being the most southerly corner of said called 118.2635 acre tract (Tract 1), being on the west line of a called 4.5169 acre tract (Tract 4) conveyed to Land Tejas Sierra Vista West, LLC by Special Warranty Deed recorded in Clerk's File No. 2019027076, Brazoria County Official Public Records, corrected by Correction Affidavit as to a Recorded Original Instrument recorded in Clerk's File No. 2019029817, Brazoria County Official Public Records, and being the northeast corner of the herein described tract;

THENCE, South 24°06'51" West, 313.00 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being on an east line of the remainder of said called 501.92 acre tract, being on the west line of said called 4.5169 acre tract (Tract 4), and being the beginning of a tangent curve to the right;

THENCE, along said tangent curve to the right in a westerly direction, having a radius of 30.00 feet, a central angle of 90°00'00", an arc length of 47.12 feet, and a chord bearing South 69°06'51" West, 42.43 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being on an east line of the remainder of said called 501.92 acre tract and being on the west line of said called 4.5169 acre tract (Tract 4);

THENCE, South 23°27'11" West, 100.01 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being on an east line of the remainder of said called 501.92 acre tract, being on the west line of said called 4.5169 acre tract (Tract 4), and being the beginning of a non–tangent curve to the right;

THENCE, along said non–tangent curve to the right in a southerly direction, having a radius of 29.96 feet, a central angle of 88°13'15", an arc length of 46.14 feet, and a chord bearing South 21°50'33" East, 41.71 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being on an east line of the remainder of said called 501.92 acre tract, being on the west line of said called 4.5169 acre tract (Tract 4), and being the beginning of a reverse curve to the left;

THENCE, along said reverse curve to the left in a southerly direction, having a radius of 2,015.13 feet, a central angle of 10°58'23", an arc length of 385.93 feet, and a chord bearing South 16°46'53" West, 385.34 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being on an east line of the remainder of said called 501.92 acre tract, being on the west line of said called 4.5169 acre tract (Tract 4), and being the southeast corner of the herein described tract;

THENCE, North 78°38'17" West, 105.20 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, North 72°41'58" West, 391.08 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, North 88°28'05" West, 70.27 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 84°17'36" West, 44.97 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 76°45'12" West, 44.97 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 69°42'24" West, 45.00 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 62°32'08" West, 150.09 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 65°13'10" West, 56.33 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 68°35'20" West, 56.33 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 71°44'24" West, 67.52 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 77°00'48" West, 73.36 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 80°22'59" West, 56.33 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 83°17'22" West, 56.35 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 87°12'17" West, 572.33 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 73°53'00" West, 50.00 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being the beginning of a non–tangent curve to the right;

THENCE, along said non–tangent curve to the right in a northerly direction, having a radius of 1,782.00 feet, a central angle of 03°37'41", an arc length of 112.84 feet, and a chord bearing North 14°18'10" West, 112.82 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being the beginning of a reverse curve to the left;

THENCE, along said reverse curve to the left in a northerly direction, having a radius of 25.00 feet, a central angle of 30°41'41", an arc length of 13.39 feet, and a chord bearing North 27°50'10" West, 13.23 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being the beginning of a reverse curve to the right;

THENCE, along said reverse curve to the right in a northerly direction, having a radius of 50.00 feet, a central angle of 75°27'01", an arc length of 65.84 feet, and a chord bearing North 05°27'30" West, 61.19 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, North 57°44'00" West, 178.32 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set;

THENCE, South 83°28'39" West, 144.99 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being on a west line of the remainder of said called 501.92 acre tract, being on the east line of a called 3.6923 acre tract (Tract 2) conveyed to Land Tejas Sierra Vista West, LLC by Special Warranty Deed recorded in Clerk's File No. 2019027076, Brazoria County Official Public Records, corrected by Correction Affidavit as to a Recorded Original Instrument recorded in Clerk's File No. 2019029817, Brazoria County Official Public Records, being the southwest corner of the herein described tract, and being the beginning of a non–tangent curve to the right;

THENCE, along said non–tangent curve to the right in a northerly direction, having a radius of 2,057.45 feet, a central angle of 03°43'54", an arc length of 134.01 feet, and a chord bearing North 04°39'32" West, 133.98 feet to a 5/8–inch iron rod (with cap stamped "Manhard") set, being the most northerly corner of said called 3.6923 acre tract (Tract 2), being on a west line of the remainder of said called 501.92 acre tract, and being on the east line of said called 8.78 acre tract;

THENCE, North 02°47'43" West, 938.93 feet to the POINT OF BEGINNING, CONTAINING 62.78 acre (2,734,539 square feet) of land in Brazoria County, Texas filed in the office of Manhard Consulting, Ltd. in The Woodlands, Texas.

STATE OF TEXAS §  
COUNTY OF BRAZORIA §

We, LAND TEJAS SIERRA VISTA WEST, L.L.C., A Texas Limited Liability Company, acting by and through Al P. Brende, Sole manager, owners of the property subdivided in this plat (hereinafter referred to as "Owner") of the 62.78 Acre tract described in the above and foregoing map of SIERRA VISTA WEST SEC 4, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back–to–back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back–to–back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back–to–back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, owners do hereby certify that we are the owners of all property immediately adjacent to the boundaries of the above and foregoing subdivision of Sierra Visa West Sec 4 where building setback lines or public utility easements are to be established outside the boundaries of the above and foregoing subdivision and do hereby make and establish all building setback lines and dedicate to the use of the public, all public utility easements shown in said adjacent acreage.

FURTHER, Owners do hereby declare that all parcels of land designated as lots on this plat are originally intended for the construction of single family residential dwelling units thereon (or the placement of mobile home subdivision) and shall be restricted for same under the terms and conditions of such restrictions filed separately.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this plat is hereby restricted to prevent the drainage of any septic tanks into any public or private street, permanent access easement, road or alley, or any drainage ditch, either directly or indirectly.

FURTHER, Owners do hereby dedicate to the public a strip of land fifteen feet (15'–0") wide on each side of the center line of any and all bayous, creeks, gullies, ravines, draws, sloughs, or other natural drainage courses located in said plat, as easements for drainage purposes, giving the City of Iowa Colony, Fort Bend County, or any other governmental agency, the right to enter upon said easement at any and all times for the purposes of construction and maintenance of drainage facilities and structures.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this plat and adjacent to any drainage easement, ditch, gully, creek, or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences, buildings, planting and other obstructions to the operation and maintenance of the drainage facility and that such abutting property shall not be permitted to drain directly into this easement except by means of an approved drainage structure.

IN TESTIMONY WHEREOF, LAND TEJAS SIERRA VISTA WEST, L.L.C., A Texas Limited Liability Company, has caused these presents to be signed by Al P. Brende, Sole Manager, therunto authorized this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

LAND TEJAS SIERRA VISTA WEST, L.L.C.,  
A Texas Limited Liability Company

By: \_\_\_\_\_  
Al P. Brende  
Sole Manager

This plat is hereby APPROVED by the City of Iowa Colony City Council, this \_\_\_\_\_ day of \_\_\_\_\_, 2021

\_\_\_\_\_  
Michael Byrum–Bratsen  
Mayor

\_\_\_\_\_  
Sydney Hargroder

\_\_\_\_\_  
Arnetta Murray

\_\_\_\_\_  
Marquette Greene–Young

\_\_\_\_\_  
Wil Kennedy

\_\_\_\_\_  
Chad Wilsey

This plat is hereby APPROVED by the City of Iowa Colony Planning and Zoning Commission, this \_\_\_\_\_ day of \_\_\_\_\_, 2021

\_\_\_\_\_  
David Hurst  
Chairman

\_\_\_\_\_  
Steven Byrum–Bratsen

\_\_\_\_\_  
Les Hosey

\_\_\_\_\_  
Vince Patterson

\_\_\_\_\_  
McLean Barnett

\_\_\_\_\_  
Melanie Hampton

\_\_\_\_\_  
Tim Varlack

STATE OF TEXAS §  
COUNTY OF BRAZORIA §

Before me, the undersigned authority, on this day personally appeared Al P. Brende, sole manager of Land Tejas Sierra Vista West, L.L.C., A Texas Limited Liability Company, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein and herein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this  
\_\_\_\_\_ Day of \_\_\_\_\_, 2021

\_\_\_\_\_  
Notary Public in and for the State of Texas

My Commission expires \_\_\_\_\_

I, Paul R. Bretherton, am authorized (or registered) under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and accurate; was prepared from an actual survey of the property made under my supervision on the ground; that, except as shown all boundary corners, angle points, points of curvature and other points of reference have been marked with iron (or other objects of a permanent nature) pipes or rods having an outside diameter of not less than five eighths (5/8) inch and a length of not less than three (3) feet; and that the plat boundary corners have been tied to the Texas Coordinate System of 1983, south central zone.

\_\_\_\_\_  
Paul R. Bretherton  
Texas Registration No. 5977

This plat is hereby APPROVED by the City of Iowa Colony City Engineer, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2021

\_\_\_\_\_  
Dinh V. Ho, P.E.

## FINAL PLAT SIERRA VISTA WEST SEC 4

A SUBDIVISION OF 62.78 ACRES OF LAND  
OUT OF THE  
LAVACA NAVIGATION COMPANY SURVEY, A-329

BRAZORIA COUNTY, TEXAS

270 LOTS      6 RESERVES      8 BLOCKS

MAY 2021

OWNER/  
DEVELOPER:

LAND TEJAS SIERRA VISTA WEST, LLC.  
2450 FONDREN ROAD, SUITE 210  
HOUSTON, TEXAS 77063  
(713) 783–6702

ENGINEER/  
SURVEYOR:



Tuesday, May 25, 2021

Stan Winter  
Jones Carter  
1575 Sawdust Road, Suite 400  
The Woodlands, TX 77380

**Re: Sterling Lakes Commercial Reserves Preliminary Plat  
Letter of Recommendation to Approve  
CIOC Project No. SPP 210510-0646  
ALLC Project No. 16007-2-203**

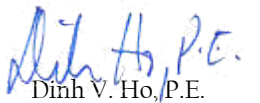
Dear Mr. Winter;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the second submittal for Sterling Lakes Commercial Reserves Preliminary Plat received on or about May 25, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance dated August 2002 and as amended.

Based upon our review, we have no objection to the plat as resubmitted on May 25, 2021. Please provide ten (10) folded copies of the plat to Kayleen Rosser, City Secretary, by no later than Wednesday, May 25, 2021 for consideration at the June 1<sup>st</sup> Planning and Zoning meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,  
Adico, LLC

  
Dinh V. Ho, P.E.

TBPE Firm No. 16423

Copy

Cc: Kayleen Rosser, City Secretary ([krusser@iowacolonytx.us](mailto:krusser@iowacolonytx.us))  
Ron Cox, City Manager ([rcox@iowacolonytx.us](mailto:rcox@iowacolonytx.us))  
File: 16007-2-203

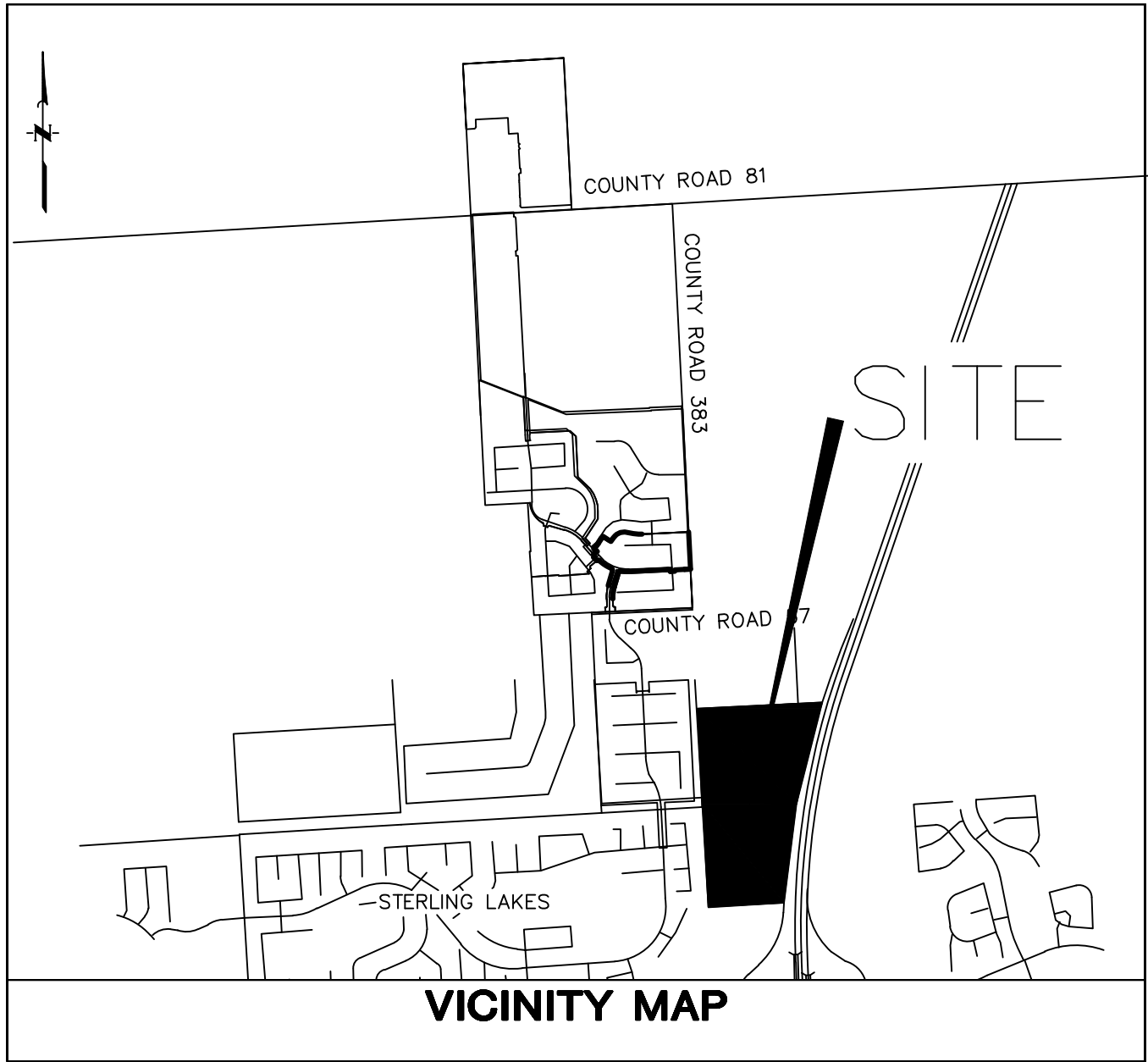
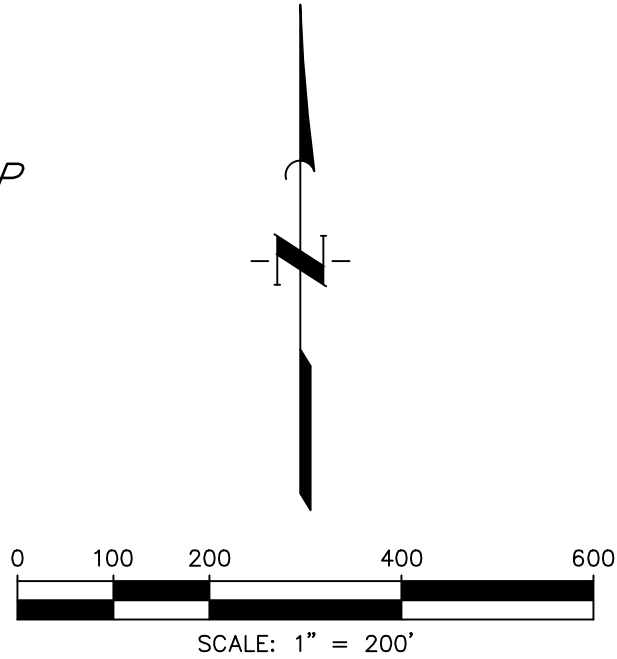


UNRESTRICTED RESERVE [A]  
41.48 AC  
1,807,125 Sq Ft

UNRESTRICTED RESERVE [B]  
3.68 AC  
160,473 Sq Ft

UNRESTRICTED RESERVE [C]  
24.86 AC  
1,083,062 Sq Ft

LEWIS McCAY DICKSON, III,  
DIANA CAY DICKSON,  
AND IOWA COLONY STERLING  
LAKES, LTD.  
A TEXAS LIMITED PARTNERSHIP  
CALLED 19.71 ACRES  
DOC. NO. 2004060186  
O.P.R.B.C. TX.



- 1) BL . . . . . "Building Line"  
Esmt . . . . . "Easement"  
CF . . . . . "Clerk's File"  
FC . . . . . "Firm Code"  
HCMUD . . . . . "Harris County Municipal Utility District"  
HCOFRRP . . . . . "Harris County Official Public Records of Real Property"  
No . . . . . "Number"  
ROW . . . . . "Right-of-Way"  
Stm SE . . . . . "Storm Sewer Easement"  
UE . . . . . "Utility Easement"  
Vol . . . . . "Volume and Page"  
WLE . . . . . "Waterline Easement"  
① . . . . . "Block Number"  
● . . . . . Set 3/4-inch iron rod (with Cap Stamped "Jones[Carter]" as Per Certification
- 2) Slab elevations (finished floor) shall be set at or above the minimum slab elevations defined in this plat.
- 3) All drainage easements shown hereon shall be kept clear of fences, buildings, foundations, plantings and other obstructions to the operation and maintenance of drainage facilities.
- 4) All property shall drain into the drainage easement only through an approved drainage structure.
- 5) The property subdivided in the foregoing plat lies within Brazoria County Drainage District #5.
- 6) This subdivision employs a drainage system, which utilizes streets and adjacent properties to store and convey storm water. Thus, during storm events, ponding of water should be expected to occur in the subdivision.
- 7) Other than shown hereon, there are no pipeline easements, or pipelines within the boundaries of this plat.
- 8) All storm water drainage pipes, culverts, or other (includes driveway culverts) will be a minimum 24" I.D. or equal.
- 9) No Building Permits will be issued until all storm drainage improvements, which may include detention, have been constructed.
- 10) The Preliminary Plat will expire six (6) months after the final approval by the City Council if construction of the improvements has not commenced within the six (6) month period, or the six (6) month extension period granted by the City Council.
- Subdivision is located in Zone "X" with no base flood base elevation required. This information is based on Brazoria County FIRM Community Map4803900110K, dated December 20, 2020.
- 11) All bearings based on the Texas State Plane Coordinate System, South Central Zone.
- 12) All coordinates shown hereon are surface and may be converted to the Texas State Plane Coordinate System, South Central Zone, NAD 83 Grid Coordinates by applying the following scale factor: 0.999857950.
- 13) Monuments set as exterior boundary markers will be set with a minimum of five eights (5/8) inch iron rod or three quarters (3/4) inch iron pipe at least thirty six (36) inches long, encased in concrete for a minimum of eighteen (18) inches below the surface of the ground.
- 14) All permanent reference monuments ( "PRM ") will be set at all boundary line angle points, block corners, angle points, points of curvature, and at intervals not to exceed one thousand (1,000) feet. Permanent reference monuments shall conform to the Texas professional land surveying practices act and the general rules of procedures and practices.
- 15) All monuments will be set to the standard of the Texas society of professional land surveying practices act and the general rules of procedures and practices of the Texas board of professional land surveying and shall bear reference caps as indicated.
- 16) Interior lot corner monuments will be set with a minimum of five eights (5/8) inch iron rod at least thirty six (36) inches in length.
- 17) All streets shall be constructed in accordance with the city's design criteria.
- 18) Street right-of-way dedicated for perimeter streets of at least sixty (60) feet in width or a minimum of one half (1/2) of the total required right-of-way, whichever is greater.
- 19) All water and wastewater facilities shall conform to the city's design criteria.
- 20) A minimum (5) five feet wide sidewalks shall be required along both sides of major arterials, minor arterials, major collectors and the central spine road within and adjacent to the property. Except, at the discretion of the developer, a six-foot wide sidewalk may be constructed on only one side of the right-of-way in lieu of two 5 foot wide sidewalks on both sides of the right-of-way. In either case, the sidewalks may meander out of the right-of-way into an adjacent landscape reserve if so provided.
- 21) The property subdivided in the foregoing plat lies within Brazoria County MUD No. 32.

Line Table		
Line	Bearing	Distance
L1	S48°38'06"E	134.47'
L2	S02°12'11"E	176.35'
L3	N17°24'47"W	242.49'
L4	N12°00'01"E	427.33'
L5	N82°36'01"W	92.44'
L6	S84°03'51"E	276.11'

Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	11669.16'	131°17'20"	2706.48'	S10°56'03"W	2700.42'	1359.34'
C2	750.00'	45°52'14"	600.44'	S25°41'59"E	584.54'	317.36'
C3	750.00'	46°25'55"	607.79'	N25°25'09"W	591.30'	321.70'
C4	800.00'	15°12'35"	212.37'	S09°48'29"E	211.75'	106.81'
C5	800.00'	29°24'48"	410.69'	N02°42'23"W	406.19'	209.98'
C6	1500.00'	1°27'50"	38.32'	S83°19'56"E	38.32'	19.16'

# STERLING LAKES COMMERCIAL RESERVES

A SUBDIVISION OF 75.73 ACRES OF LAND  
OUT OF THE  
H.T. & B.R.R. CO. SURVEY NO. 56, A-515,  
BRAZORIA COUNTY, TEXAS  
3 RESERVES                      3 BLOCKS  
APRIL 2021

ENGINEER:  
ELEVATION LAND SOLUTIONS  
2445 TECHNOLOGY FOREST BLVD.  
STE 200  
THE WOODLANDS, TX 77381  
713-560-3969

OWNER:  
IOWA COLONY STERLING LAKES, LTD  
2450 FONDREN ROAD  
STE 210  
HOUSTON, TX 77063  
713-783-6702

SURVEYOR/PLANNER:  
  
Texas Board of Professional Engineers Registration No. 1-439  
8701 New Trails Drive, Suite 200 • The Woodlands, Texas 77381  
381.383.4859

May 20, 2021

LETTER OF RECOMMENDATION

SIERRA VISTA WEST AMENDMENT #1 PLAN OF DEVELOPMENT

On Friday, May 7, 2021 staff received a proposed amendment to the Plan of Development for Sierra Vista West. The following is a Letter of Recommendation to the City of Iowa Colony Planning and Zoning Commission and the City Council.

The following sections were submitted for consideration of an amendment to the current Sierra Vista West Plan of Development:

- A. Introduction
- B. General Provisions
- C. Land Uses
- D. Development Regulations
  - D1. Development Regulations for Single Family Lots
  - D2. Development Regulations for “For Rent” Single Family Residential
  - D3. Development Regulations for Townhouse Residential, Including tri-plex and duplex lots.
- E. Parks, Recreation and Trails
- F. Landscape
- G. School Site
- H. Street Plan & Cross-Sections
- I. Project Phasing

A. Introduction

The total Sierra Vista West development is comprised of 501.92 acres. Sections One through Five, consisting of 232.48 acres have been previously approved by Brazoria County and is “vested property” as shown on Figure 1. The remaining 269.44 (263.02 + 6.42) acres is the subject to this Plan of Development that now features a “Crystal Lagoon” and other related general recreational facilities not present in the current Plan of Development.

Staff comments are as follows:

B. General Provisions

B 2, Figure 2a: note that the proposal is to include the Crystal Lagoon and Beach as a sub district of the Sierra Vista West development.

3. Note that the Crystal Lagoon amenities will be owned and managed by a “third party” corporation. An indication should be made regarding the status of this corporation. Will it be a non-profit or will it be a for-profit business? If this is a for-profit business, the use is commercial and all uses should conform to those indicated in the MU (Mixed Use) category of the City of Iowa Colony zoning ordinance as a guide for allowed uses in Plans of Development.

#### C. Land Uses

2. Note that this identifies a current approved area as “For Rent” Single Family Residential per Figure 10.

3. The “Utility Swing” designation should be removed and a specific use designation be provided.

4. All references to the Planning Board should be changed to Planning & Zoning Commission. All exterior landscaping between the front on residential buildings and the street and all exterior residential home materials on the front of residential townhouse homes indicated in the Crystal Lagoon and Beach sub-district shall be permanently maintained by a home owners association (HOA).

5. Note the maximum number of single family lots and townhouse residential has increased from 475 to 496. The new total residential that includes the “For Rent” units (110) has increased from 585 to 606.

6. Table 1.0 – Permitted Uses: All outdoor venues should include a limited hours of operation with no exterior operations allowed between the hours of 10 PM and 7 AM due to the proximity of surrounding residential uses. The City of Iowa Colony Zoning Ordinance Noise Performance Standards shall be used as a guide for allowable noise levels in Plans of Development. The temporary uses during construction use should have specific timeframes and removal triggers included.

#### D. Development Regulations

D3. The development regulations for townhouse residential: including tri-plex and duplex lots should be clarified to indicate that each unit will be on a separate lot.

D3 I. Guest Parking shall be provided on the site at a minimum 1 space per every 4 units.

D3 (n) ii Each subdivision plat providing for a townhouse residential use on a permanent access easement with six or more dwelling units shall provide one additional parking space for every four dwelling units. Each additional guest parking space shall conform to the following requirements:

f. Resident parking will not be allowed in guest parking spaces.

D3 (o) Since the Crystal Lagoon and its adjacent beaches and HOA amenities are being used to satisfy the compensating open space requirements for the townhouse residential in this District, a provision should be included in this Plan of Development that should the Crystal Lagoon be no longer able to viably function and declares bankruptcy, all property and buildings owned by the Crystal Lagoon shall automatically revert to ownership by the HOA.

#### E. Parks, Recreation and Trails

E 1 (b) A provision should be added that indicates: The Crystal Lagoon, its beaches, recreational amenities and HOA buildings will all be private with access only to residents and guests of Sterling Lake, Sterling Lake North, Sierra Vista, and Sierra Vista West. No public access, paid or free, will be allowed.

E4 A provision should be added that indicates land for a regional park may be dedicated by the developer (an additional 20 acres for a total of 60 acres in one contiguous parcel) upon request from the City of Iowa Colony in lieu of the \$450 per lot/unit of residential regional park fee payable for Sierra Vista West.

#### F. Landscape

A provision should be added that requires street tree and parking lot landscaping along Meridiana Parkway to meet all the City of Iowa Colony UDC landscaping requirements.

F3 A provision should be added that allows palms and crape myrtles on private property but excludes those plants within public street right-of-way. All other street trees and parking lot trees must conform to the City of Iowa Colony Allowed Tree List located within the Unified Development Code or by specific variance.

#### Figure 2 General Development Plan

The proposed "Swing" use should be changed to a specific land use. Swing use should not be allowed as it creates future conflict and confusion. If the developer desires to change a land use, he should submit a Plan of Development amendment for approval.

#### Figure 2a Crystal Lagoon and Beach Sub-District

A provision should be indicated that provides for a designated pedestrian cross-over access across Crystal Lagoon Drive between the Crystal Lagoon and Beach Area and the residential development on the north side of Crystal View Drive.



A note should be added that indicates no more than 35 townhouse units with one point of access to a public street will be allowed.

A note should be added that requires Fire Marshall approval for the proposed access routes within the Crystal Lagoon area.

Figure 6 Street Cross Section for Spine Road (divided) with Shared Use Trail

A note should be added that indicates pedestrian transition to sidewalks on both sides of the street will be made at a mid-block crossing.

Figure 8 Street Cross Section for Spine Road (undivided) with Shared Use Trail

A note should be added that indicates pedestrian transition to sidewalks on both sides of the street will be made at a mid-block crossing.

#### RECOMMENDATION

Staff recommends that the Planning and Zoning Commission approve and recommend approval to the City Council for Sierra Vista West Plan of Development Amendment #1 with the corrections and additions noted in the Staff LOR.

J. Kent Marsh, AICP CUD  
Staff Planner for the City of Iowa Colony



**EXHIBIT B**  
**PLAN of DEVELOPMENT**  
**Sierra Vista West**

**A. Introduction.**

1. The property is comprised of approximately 269.44 acres, and is part of the 501.92 acres that is currently being developed as Sierra Vista West. Sierra Vista West, Sections One through Five, consisting of 232.48 acres have previously been approved by Brazoria County. This area contains a total of 886 lots, minimum 50 feet wide and is identified as “vested property”, or “VP” on the exhibits and text included in the Plan of Development. The remaining 269.44 acres subject to this Plan of Development is planned for residential uses with community facilities featuring a “Crystal Lagoon” and other general recreational facilities such as parks, lakes, trails, open space.
2. This PD includes the following sections:
  - A. Introduction
  - B. General Provisions
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**B. General Provisions.**

1. The PD approved herein must be constructed, developed, and maintained in compliance with this Agreement, the Development Agreement dated November, 2019 and other applicable ordinances of the City. In the event that there are discrepancies between the text of this document and the exhibits attached, the text shall prevail.
2. The project shall be developed in accordance with the following figures that are attached to and made part of this PD:

Figure 1:                      Boundary Exhibit

Figure 1a:	Jurisdiction Map
Figure 2:	General Development Plan
Figure 2a:	Crystal Lagoon and Beach sub district
Figure 3:	Contributing Landscape and Open Space Plan
Figure 4:	Thoroughfare Exhibit
Figure 5:	Street cross section for Spine Road, (divided)
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Figure 8:	Street cross section for Spine Road, (undivided) with Shared Use Trail
Figure 9:	Phasing Plan of Development
Figure 10:	"For Rent" Single Family Residential Site Plan
Figure 11:	Perimeter Fencing and Screening

The project is located west of State Highway 288, between County Roads 56, Meridiana Parkway and C.R. 64, Davenport Parkway. As shown on Figure 1a: Jurisdiction Map, parts of the proposed development lie within the City Limit, and parts lie within the City's extra-territorial jurisdiction.

3. A homeowners' association shall be established and made legally responsible to maintain all common areas, private streets, recreation reserves and community amenities not otherwise dedicated to the public. The Crystal Lagoon amenities will be owned and managed by a "third party" corporation, Crystal Lagoons of Texas. All land and facilities dedicated to a Municipal Utility District shall be maintained by said District.
4. All future building permits shall be reviewed for conformance with this PD.
5. Screening and Fencing will be provided along major thoroughfares, and along the perimeter boundaries as shown on Figure 11: Perimeter Fencing and Screening.

#### C. Land Uses.

1. Permitted land uses for tracts identified as Single Family Residential (SFR) on Figure 2 shall be those uses permitted within District SFR of the Zoning Ordinance. Single Family Residential (SFR) lots shall be a minimum 6,600 square feet and be a minimum 60 feet wide.
2. Permitted land uses for the tracts identified as "For Rent" Single Family Residential on Figure 2, Shall include only "For Rent" Single Family Residential units as shown. Figure 10: "For Rent" Single Family Residential Site Plan (See D2.(a) Below)
3. Permitted land uses for the tracts identified as "Utility Swing" on Figure 2 shall include municipal utility and drill site purposes.

4. Permitted land uses for the tracts identified as Crystal Lagoon and Beach sub-district are listed below in Table 1.0: Permitted Uses. Any use that is not expressly listed below and cannot be reasonably categorized as falling within the definition or common English interpretation of listed use, may be considered by Iowa Colony Planning Board as a Conditional Use or Specific Use. When considering the suitability of an unlisted use, Iowa Colony Planning Board shall have regard to the permissibility of similar land uses, the vision and objectives of the District, the potential amenity impacts associated with the use and whether allowing the use (with or without special conditions) is in the public interest.
5. The maximum number of single family lots and townhouse residential shall not exceed 496 lots. "For Rent" Single Family Residential shall not exceed 110 units; The total of all dwelling units combined shall not exceed 606 units.
6. Within the boundary of the proposed Plan of Development, land shall be dedicated for neighborhood park purposes, which area shall equal one (1) acre for each fifty-four (54) proposed dwelling units, based on 606 units equals 11.2 acres required neighborhood park. Land used for public park area shall have a minimum frontage of 60 feet on a public street. Portions of open space that do not have any additional man-made improvements provided by the developer, such as hiking/running trail, benches or shelters that facilitate an active human recreational role will not be considered contributing to the minimum public park area requirement.

Table 1.0 – Permitted Uses:

Land Uses Permitted	Townhouse	Lagoon/Beach	Notes
Residential Land Uses			
Dwelling, Single-Family Attached	X		
Dwelling, Single Family Detached	X		
Public and Civil Land Uses			
Wedding Venue		X	
Outdoor Stage, Performance Venue		X	
Community Center/		X	

HOA amenities and club buildings			
Recreation and Entertainment			
Amusement and Recreational Services		X	
Other Spectator Sports, incl. rental concessions		X	
Other Reservation Services		X	
Performance Venue, Outdoor		X	
Membership Sports and Recreation Club		X	
Kiosk		X	
Mobile Food Unit		X	
Restaurant, Refreshment Stand (temporary or Seasonal)		X	
Accessory Use			
Accessory Building	x	X	
Temporary uses during construction. Including a "sales trailer" or "construction office"		X	

D. Development Regulations

D1. Development Regulations for Single Family Lots – Maximum 371 lots permitted. Single-family home sites within the PD shall be developed in accordance with the following regulations:

1. Minimum lot width: 60 feet.

2. Minimum lot area: 6,600 square feet.
3. Minimum lot depth: 110 feet or 90 feet for lots fronting on the bulb portion of a cul-de-sac.
4. Maximum lot coverage: Sixty (60%) percent calculated as the ground covered by building structures, principal or accessory, of the gross lot surface area.
5. Maximum height: Two (2) stories. Roof gables, chimneys, and vent stacks may extend to a height not to exceed 35 feet above the average level of the base of the foundation of the building. Height regulations prescribed herein shall not apply to satellite earth station antennas or any personal communication electronic facilities protected by the Federal Telecommunications Act of 1996.
6. Minimum front yard building setback: 25 feet; 20 feet on cul-de-sac bulbs as measured from the front property / right-of-way line.
7. Minimum side yard building setbacks: 5 feet for interior, non-corner lots and the non-street side of corner lots; 10 feet exterior side yard for corner lots if a minimum fifteen (15) feet by fifteen (15) feet visibility triangle, as measured from the property line / street right-of-way line, that restricts the placement or maintenance of any vertical obstruction, either natural or man-made, within a vertical distance of between three (3) feet and eight (8) feet of the natural ground elevation, is provided on the platted lot subdivision at any street, public or private, intersection. A street side setback of twenty-five (25) feet minimum will be required for all lots siding on a designated major arterial, minor arterial or major collector.
8. Minimum rear yard building setback: 10 feet, except when the rear utility easement width is greater than ten (10) feet, the greater width is the minimum rear yard building setback. When a lot or a reserve is either directly adjacent to a major or minor arterial right-of-way or directly adjacent to a reserve less than fifteen (15) feet wide that is adjacent to a major or minor arterial, the minimum rear yard building setback is twenty-five (25) feet measured from the street right-of-way line and a minimum of ten (10) feet from the rear property line. When a residential lot backs to a designated major or minor arterial and a detached one-story garage is constructed on the residential lot, the rear yard between the detached one-story garage and the rear property line may be reduced to a minimum of three (3) feet if a minimum of twenty-five (25) feet is maintained between the rear of the one-story detached garage and the right-of-way line of the major or minor arterial.
9. All lots shall have a minimum of two (2) trees, planted in the front yard setback. The trees must be a minimum of one and one-half (1-1/2) inches in caliper width and a minimum height of six (6) feet as measured at the tree trunk from the ground as planted. The trees must be located between five (5) feet and fifteen (15) feet from a side lot line and between five (5) feet and twenty (20) feet from the front property line with a minimum of ten (10) feet between tree trunks.

D2. Development Regulations for “For Rent” Single Family Residential –. At the time of the preliminary plat, a draft of the protective covenants whereby the Developer proposes to regulate the use of the land shall be submitted to the City. The restrictive covenants, conditions or limitations shall never be less than the minimum requirements of the City as specified in the City’s applicable ordinance(s) at the time of plat recordation.

1. “For Rent” Single Family Residential shall conform to and or be reasonable similar to the plat and site plan as shown on Figure 10: “For Rent” Single Family Residential Site Plan. The plan will feature 110 free standing units on a reserve totaling 18.04 acres.
2. Each unit shall have driveway frontage to a paved twenty eight foot (28’) wide private access easement.(p.a.e.)
  - a. The minimum right-of-way width for a p.a.e. shall be 28 feet, which is coterminous with the pavement width measured from edge-to-edge across the surface of the pavement. The p.a.e. shall remain clear at all times for emergency vehicle access. No parking shall be allowed within the p.a.e.
  - b. At the option of an applicant, the right-of-way width of the p.a.e. may be comprised of two paving sections of not less than 20 feet each, separated by a curbed section of not less than five feet and not more than 20 feet in width with a maximum length of 100 feet off of a public street.
  - c. Intersections along a p.a.e. shall be a minimum of 65 feet apart. When a p.a.e. intersects with another p.a.e. at a 90-degree angle, the p.a.e. shall provide a 25-foot radius at the intersection. When a p.a.e. intersects with another p.a.e. at an angle less than 90 degrees, but more than 80 degrees, the p.a.e. shall provide a 25-foot radius at the intersection.
  - d. The centerline radius of a reverse curve on a p.a.e. shall not be less 65 feet. Reverse curves shall be separated by a tangent of not less than 25 feet
3. No building or structure shall exceed two (2) stories, or thirty-five (35) feet.
4. Buildings shall be a minimum 10 feet apart.
5. Minimum front yard building setback: 20 feet. All buildings shall face internal private access easements.
6. Minimum side yard building setback: 10 feet exterior side yard for corner lots. All buildings shall be setback a minimum 25 feet from any other public street, Ames Boulevard, County Road 48, and Crystal View Drive, (Spine Road).
7. Minimum rear yard building setback: 20 feet. All buildings shall be setback a minimum 25 feet from any other public street, Ames Boulevard, County Road 48, and Crystal View Drive, (Spine Road).

8. Residential units shall be constructed of brick or masonry veneer exterior walls for one-hundred (100) percent of the exterior wall surface (exclusive of windows and doors) for one (1) story structures; and a minimum of sixty (60) percent of the exterior wall (exclusive of windows and doors) for two (2) story structures with the remaining maximum forty (40) percent being fiber cement board.
9. A management office shall be provided on-site, and all open areas, "yards" and all building exteriors shall be maintained by the "management company".
10. Compensation Open Space: 900 square feet of compensation open space shall be provided per each residential unit in accordance with the performance standards outlined in Section 74 (d)(iii)(A) of City of Iowa Colony Ordinance 2019-14A.
11. Two (2) garage parking spaces and two (2) off-street parking spaces shall be provided for each residential unit. In addition, one (1) guest parking space for every 4 units shall be provided throughout the site.

D3. Development Regulations for Townhouse Residential: including tri-plex and duplex lots. One of a group of no less than two (2) nor more than twelve (12) attached dwelling units, separated by a fire rated wall, each dwelling unit located on a separate lot.

a.	The total number of units shall not exceed.	125 units
	The maximum permitted density	8 units per acre
b.	The minimum lot area	1,400 sq. ft.
c.	The minimum lot width	20 feet A 10' minimum lot width is permitted for flag lots. The "staff" portion of the flag lots shall be restricted to legal frontage only. No driveways or buildings shall be constructed on the portion of the lot that is less than 20 feet wide
d.	The minimum lot depth	70 feet
e.	The minimum front yard setback	20 feet / 15 feet if vehicular access is from a rear alley/shared driveway.
f.	The minimum rear yard setback	10 feet / 3 feet if vehicular access is from a rear alley.
g.	The minimum side yard setback	0 feet between units; 6 feet at the end of each building complex
h.	The minimum side yard of corner lots	10 feet on street side/ 5' if

	(m)	siding on "T" type or "L" Type turnaround (see below) minimum 25 foot side yard if the side street is a major thoroughfare
i.	The maximum lot coverage by structures	80 percent
j.	The maximum lot coverage by structures, driveways and parking	85 percent
k.	The maximum height. c c e s s :  A c c e s s  t	35 feet The measurement shall be taken from the finished ground elevation to the mean roof height except as follows: Chimneys, ornamental tower spires, cooling towers, elevator bulkheads, fire towers, stacks, roof gables, parapet walls, and mechanical equipment may extend an additional Height not to exceed 15 feet above the maximum Height allowed for the Structure to which it is affixed.
l.	Guest parking shall be provided on the site at a minimum 1 space per every 6 units	1 space/6 units

o

ts may be from either a public or private street, a permanent access easement (PAE) or a courtyard. Lots may take driveway access from a private alley provided the lots also have adequate minimum frontage on either a public or private street, a permanent access easement or a common courtyard. Courtyards may not exceed 120 feet and must be a minimum 25 feet wide .

- i. The minimum right-of-way required for permanent access easement is 28 feet. The right-of-way width of a permanent access easement is coterminous with the pavement width and the terms are used interchangeably. The width shall be measured from edge to edge across the surface of the pavement.



- ii. Sidewalks are not required adjacent or along a permanent access easement.
- iii. Intersections along permanent access easements shall be spaced a minimum of 65 feet apart and shall not intersect at less than an 80-degree angle.
- iv. When a permanent access easement intersects with another permanent access easement at a 90-degree angle, the permanent access easement shall provide a 20-foot radius at the intersection.
- v. When a permanent access easement intersects with another permanent access easement at an angle of between 80 and 90 degrees each acute angle shall have a 25-foot radius at the intersection.
- vi. A permanent access easement may not be a direct straight-line extension of a public street.
- vii. Curves along a permanent access easement may have any centerline radius except that the centerline radius of a reverse curve shall not be less than 65 feet. Reverse curves shall be separated by a tangent of not less than 25 feet.
- viii. Dead end permanent access easements shall not exceed 100 feet or must provide an "L" type, or "T" type turn around.
- ix. The minimum right-of-way requirement for a private alley is 20'. The right-of-way width of a private alley is coterminous with the pavement width and the terms are used interchangeably. The width shall be measured from edge to edge across the surface of the pavement.
- x. When a private alley intersects with a permanent access easement, or public street the alley shall provide a 20' radius at the intersection.
- xi. When a private alley intersects with another private alley the minimum radius shall be 10'.
- xii. An alley may not be a direct straight-line extension of a public street.

- xiii. Dead end alleys may not exceed 100'
- (n) Parking for Townhouse Residential Use.
  - i. Each subdivision providing for a townhouse residential use shall provide at least two off-street parking spaces per dwelling unit on each lot.
  - ii. Each subdivision plat providing for a townhouse residential use on a permanent access easement with six or more dwelling units shall provide one additional parking space for every six dwelling units. Each additional guest parking space shall conform to the following requirements:
    - a. The guest parking space shall be placed within the boundaries of the subdivision plat, unless the guest parking space abuts a continuous curb along a public or private street that is adjacent to or within the plat boundary and that is not a major thoroughfare;
    - b. For a subdivision plat where the lots abut a permanent access easement and take vehicular access only from a private alley, a guest parking space may be included within the permanent access easement;
    - c. The guest parking space shall not be placed within a lot;
    - d. The guest parking space shall not be placed where parking is prohibited by law; and
    - e. The guest parking space shall be accessible to all residents of each dwelling unit of the subdivision plat.
- (o) Compensation Open Space: The Crystal Lagoon and its adjacent beaches and HOA amenities will satisfy the c.o.s. requirements for townhouse residential in this District.

- E. Parks, Recreation and Trails – As shown on Figure 3, an integrated network of open space and recreational amenities shall be provided in accordance with the following regulations:
1. A maximum of fifty percent (50%) of the required area for neighborhood park land may be provided by private neighborhood park land consisting of the following;
    - (a) Several small “pocket parks”, recreation reserves of a minimum one-quarter (1/4) acre, strategically located near the entries of various neighborhood pods, as shown on Figure 3. A contributing park / recreation / open space area must be located a maximum of one-quarter (1/4) mile from all residential lots.
    - (b) The Crystal Lagoon, its beaches, recreational amenities and HOA buildings will contribute to the open space and park requirements for this District. as shown on Figure 3, Contributing Landscape and Open Space Plan. The Crystal Lagoon, its beaches, recreational amenities are centrally located, consisting of 21.5, (21.5) acres including water recreation, HOA building, playground, picnic areas and/or other active recreational uses.
  2. A minimum of fifty percent (50%) – 5.6 acres of the required area for neighborhood park land shall be dedicated to, and accessible to the public. Public park land shall conform to the criteria indicated in the UDC regarding parkland dedication. Section 3.2.1.5. Consisting of the following:
    - (a) Unencumbered landscape buffer, open space and trails.
    - (b) Land which is encumbered by detention areas, lake and drainage channel borders, or other similar characteristics shall qualify at a 50% credit but only if it complies with criteria listed below.
      - Land used for public park area shall have a minimum frontage of 60 feet on a public street. Contributing areas shall include hike, bike, and all weather paths, landscaping and sodding installed according to the construction standards of the City. Paths must also be connected to recreation areas as part of an open space system. .
      - Areas along lake and drainage channel borders shall have an average minimum width of thirty feet (30') and a minimum width of twenty feet (20'); and
      - Side slopes for area used in credit not to exceed a five to one (5:1) ratio.
    - (c) A minimum of two (2) view corridors per lake with an unobstructed view from the adjacent streets with a minimum combined width of 60 feet, per lake, shall be provided to each permanent lake. The minimum width of a single view corridor is 20 feet. Views to the permanent lakes from the view corridors shall not be obstructed by fences, structures, screening or landscaping that would prevent seeing the lake area.
    - (d) View corridors shall be separated by a minimum of one thousand (1,000) feet as measured along the lake water edge. Unless the lake is less than one thousand

(1,000) feet in length in which case the view corridors shall be separated by at least 4/5 the total length of the lake.

(e) A concrete pedestrian path a minimum of five (5) feet in width shall connect the required street sidewalk with the lake water edge.

3. Minimum 5-foot width sidewalks shall be provided along both sides of local public and private residential streets. Except, sidewalks are not required adjacent to 28' wide p.a.e. in the "For Rent" Single Family development. All sidewalks shall be constructed in accordance with the City of Iowa Colony standard details and shall meet the State of Texas ADA standards.

4. Minimum 6-foot width sidewalks shall be provided along both sides of major arterials, minor arterials, major collectors and the central spine road (as depicted in Figure 4 attached) within and adjacent to the property. At the discretion of the developer, a twelve (12) foot wide joint use trail may be constructed on only one side of the right-of-way in lieu of two 6 foot wide sidewalks on both sides of the right-of-way. In either case, the sidewalks or joint use trail may meander out of the right-of-way and into an adjacent landscape reserve if so provided.

F. Landscape. All development will meet or exceed the minimum landscape requirements specified in the City's Unified Development Code, Section 3.3.1 Screening, and shall meet the landscape requirements specified in the developer's commercial deed restrictions and development covenants except as listed below.

1. A landscape buffer with a minimum 15-foot width shall be located along each side of the Crystal View Drive, as shown on Figure 3, where lots side or rear to the spine road. The buffer is in addition to the minimum street right-of-way width and shall include trees, benches, plazas and landscape screening. No on-street parking will be allowed along the designated spine road.

2. Screening

a) The existing trees and hedge row along existing CR 48 will meet the requirements of Section 3.3.1.2 without the need for additional plantings.

b) Perimeter Fencing and Screening will be constructed as shown on Figure 8, Perimeter Fencing and Screening.

3. Plant List

Trees:

- Little Gem – Magnolia grandiflora 'Little Gem' (Evergreen)
- Vitex – Vitex agnus-castus
- Pindo Palm- Butia capitata
- European Fan Palm- Chamaerops humilis cerifera

- Chinese Fan Palm- *Livistona chinensis*
- Mazari Palm- *Nannorrhops ritchiana*
- Canary Island Date Palm- *Phoenix canariensis*
- Medjool Date Palm- *Phoenix dactylifera* 'Medjool'
- Sylvester Palm- *Phoenix sylvestris*
- Texas Sabal Palm- *Sabal texana*
- California Fan Palm- *Washingtonia filifera*
- Washingtonia Palm- *Washingtonia robusta*
- Eagleston Holly- *Ilex x attenuate* 'Eagleston'
- Crape Myrtle - Red- *Lagerstroemia x 'Arapaho'*
- Crape Myrtle – Pink- *Lagerstroemia x 'Sioux'*
- 

#### Shrubs/Groundcovers:

- Coppertone Loquat – *Eriobotrya japonica* 'Coppertone' (Evergreen)
- Morning Light Miscanthus – *Miscanthus sinensis* 'Morning Light' (Herbaceous)
- Dwarf Bottlebrush – *Callistemon citrinus* 'Little John' (Evergreen)
- Variegated Flax Lily – *Dianella tasmanica* 'Variegata' (Evergreen)
- Mexican Feather Grass – *Nassella tenuissima* (Herbaceous)
- New Gold Lantana – *Lantana x hybrid* 'New Gold' (Evergreen)
- Liriope – *Liriope muscari* (Evergreen)
- Gulf Muhly Grass - *Muhlenbergia capillaris*
- Drift Rose (Apricot) – *Rosa* 'Meimirrot'
- Dwarf Firebush – *Hamelia patens*
- Summer Wisteria – *Indigofera decora*
- Hameln Grass – *Pennisetum alopecuroides* 'Hameln'
- Sandy Leaf Fig – *Ficus tikoua*
- Purple Trailing Verbena – *Verbena canadensis* 'Homestead Purple'
- Snow-N-Summer Jasmine – *Trachelospermum asiaticum* 'Snow-N-Summer'
- Green Mound Juniper – *Juniperus procumbens* 'Green Mound'
- Bicolor Iris – *Iris Bicolor* (Evergreen)
- Foxtail Fern – *Asparagus meyeri* (Evergreen)
- Japanese Blueberry – *Elaeocarpus decipiens* (Evergreen)
- Dwarf Palmetto- *Sabal minor*
- Shell Ginger- *Alpinia Zerumbet* 'Variegata'
- Bat Faced Cuphea- *Cuphea llavea*
- Canna Lily- *Canna indica*
- Yellow Iris- *Iris pseudacorus*

- Knockout Rose- Roba 'Radrazz'
- Double Red Knockout Rose- Rosa x 'Knockout' TM
- Variegated Asian Jasmine- Asiatic jasmine
- Geyser Pink Gaura- Gaura lindheimeri 'Geyser Pink'
- Geyser White Gaura- Gaura lindheimeri 'Geyser White'
- Super Green Giant Liriope- Liriope muscari 'Super Green Giant'
- Yellow-tip Ligustrum- Ligustrum howardii
- Sweet Viburnum - Viburnum odoratissimum
- Kaleidoscope Abelia- Abelia x grandiflora 'Kaleidoscope'
- Rose Creek Abelia- Abelia x grandiflora 'Rose Creek'
- Dwarf Schilling's Holly- Ilex vomitoria 'Schilling's Dwarf'
- Lindheimer's Muhly- Muhlenbergia lindheimeri
- Dwarf Nandina- Nandina domestica
- Switch Grass- Panicum virgatum 'Shenandoah'
- Spring Bouquet Laurestinus- Viburnum tinus 'Spring Bouquet'
- Sand Cord Grass- Spartina bakeri
- Variegated Confederate Jasmine- Trachelospermum jasminoides 'Variegatum'

#### G. School Site

As shown of Figure 2, an elementary school site shall be provided for purchase at the option of the Alvin Independent School District. If the AISD chooses not to purchase the site, the site is limited to the same uses as for tracts identified as Single Family Residential (SFR) on Figure 2. The developer will reserve the land for purchase by Alvin ISD for a period of three (3) years after the date the land is acquired by the developer and for a period no earlier than the completion of a combined total of 600 homes within the vested property or Sierra Vista West PD. The Developer would require that the District have the land under contract and close within one (1) year of the Districts decision to purchase the land.

#### F. Street Plan and Cross Sections.

4. Street improvements shall be built in phases as the project develops in accordance with the City's Engineering Design Criteria Manual, Developers Agreement, street plan and cross sections listed below.
  - Figure 4: Thoroughfare Exhibit
  - Figure 5: Street cross section for the spine road (divided) and greenbelt
  - Figure 6: Street cross section for the spine road (divided) with Shared Use Trail
  - Figure 7: Street cross section for the spine road (undivided) and greenbelt

- Figure 8: Street cross section for the spine road (undivided) with Shared Use Trail

H. Project Phasing – Figure 9 indicates the general time and location of the proposed development phasing. The precise dates of each phase is subject to change due to general economic variables and market demand.

Copy



# Sierra Vista West

## Boundary Exhibit

AN EXHIBIT OF  
**± 269.44 ACRES**  
IN BRAZORIA COUNTY,  
TEXAS

FIGURE 1



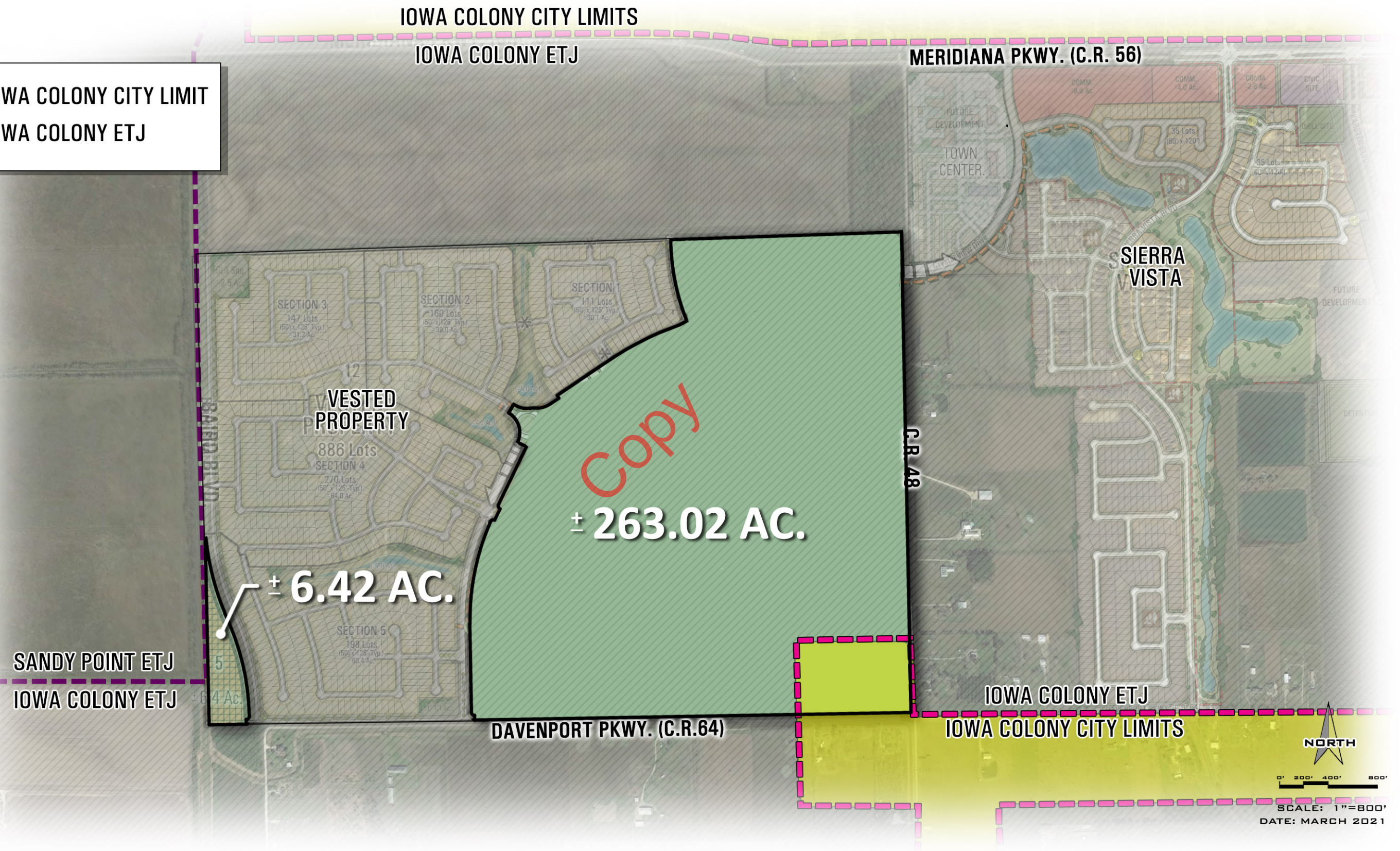


# Sierra Vista West Jurisdiction Map

FIGURE 1A

## LEGEND

-  IOWA COLONY CITY LIMIT
-  IOWA COLONY ETJ



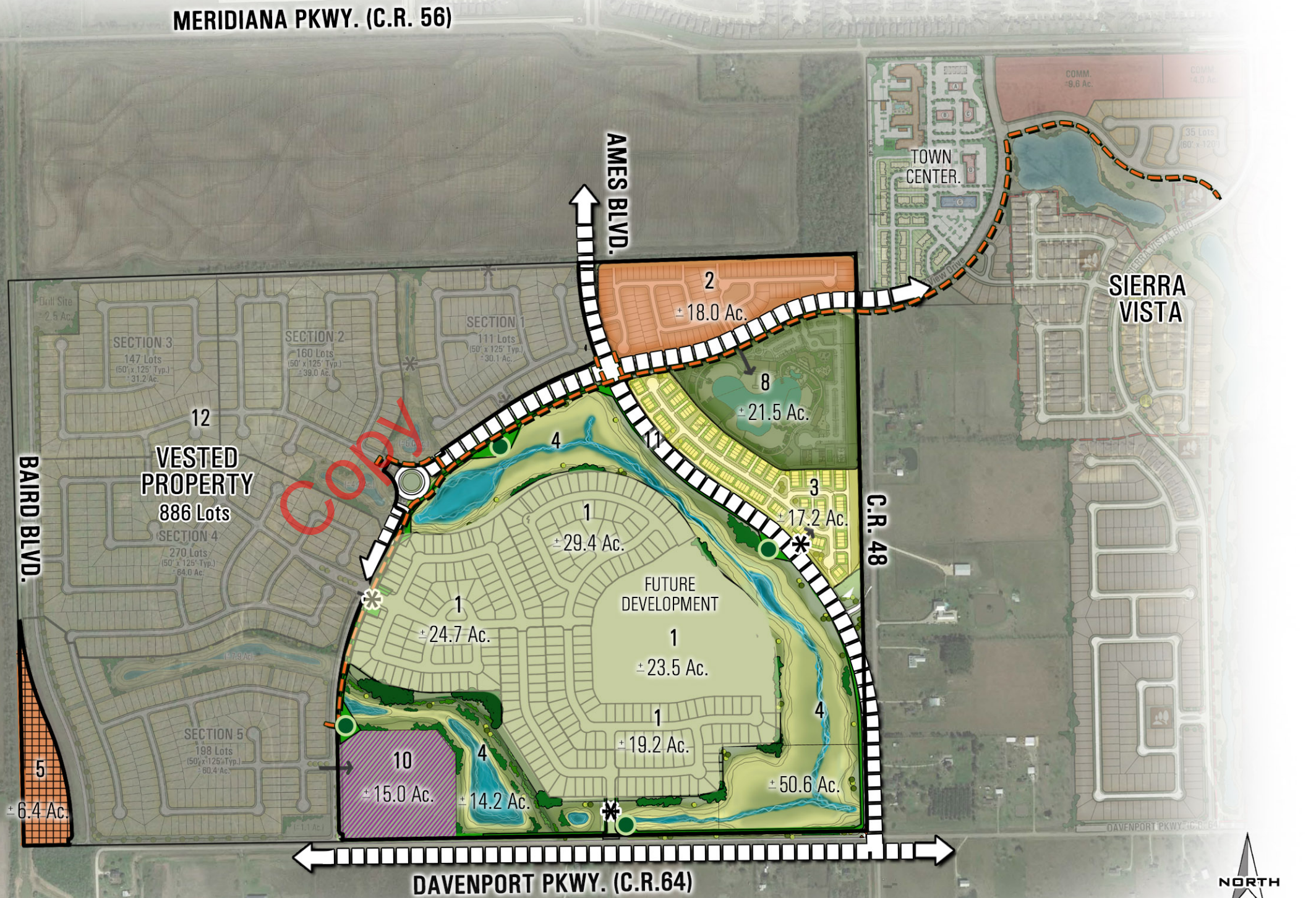


# Sierra Vista West

## General Development Plan

FIGURE 2

LEGEND		
1	<b>SF 1 - MAXIMUM 371 LOTS</b> - LOTS SHALL BE A MINIMUM OF 60' WIDE AND 6,600 SF.	96.8 AC.
2	INDICATES PROPOSED SWING	18.0 AC.
3	INDICATES PROPOSED TOWNHOUSE LOTS	17.2 AC.
4	INDICATES PROPOSED DETENTION/RECREATION	64.8 AC.
5	INDICATES PROPOSED UTILITY SWING	6.4 AC.
6	* INDICATES PROPOSED GATED ENTRY/ PRIVATE STREET ONLY	-
7	● INDICATES PROPOSED PUBLIC RECREATION SITE	5.4 AC.
8	● INDICATES PROPOSED PRIVATE RECREATION SITE	21.5 AC.
9	- - - INDICATES OPTIONAL MULTI-USE TRAIL	-
10	▨ INDICATES OPTIONAL SCHOOL SITE	15.0 AC.
11	▤ INDICATES PROPOSED R.O.W.	24.3 AC.
12	▦ INDICATES VESTED PROPERTY	232.5 AC.
TOTAL		501.9 AC.





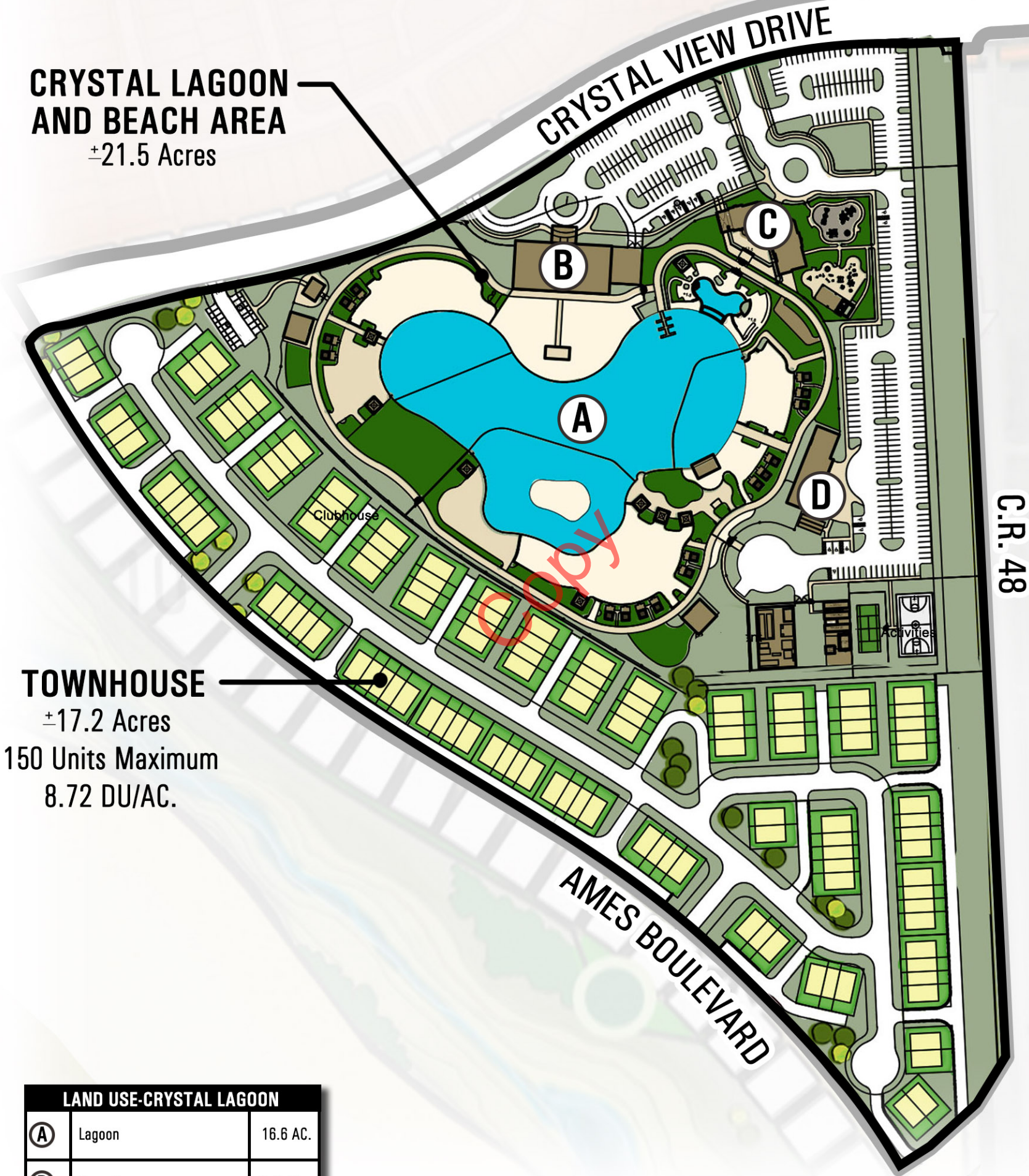
# Sierra Vista West

Crystal Lagoon and Beach Sub-District

FIGURE 2a

AREA  
+8.4 Ac.

125 Townhouse  
Units Maximum



CRYSTAL LAGOON  
AND BEACH AREA  
±21.5 Acres

TOWNHOUSE  
±17.2 Acres  
150 Units Maximum  
8.72 DU/AC.

LAND USE-CRYSTAL LAGOON		
A	Lagoon	16.6 AC.
B	Event Center	2.3 AC.
C	Residential Clubhouse	0.9 AC.
D	Residential Access Building	1.7 AC.
TOTAL		21.5 AC.



DATE: 03.2021



JONES | CARTER



### Contributing Landscape and Open Space Plan

#### LEGEND

##### REQUIRED NEIGHBORHOOD PARK

1 AC/54 UNITS - @606 UNITS = 11.2 ACRES REQUIRED

• 50% PRIVATE PARK = 5.6 AC.

- A) POCKET PARKS & CONTRIBUTING OPEN SPACE
- B) MIN. 10 AC. CENTRALLY LOCATED PRIVATE RECREATION SITE

• 50% PUBLIC PARK = 5.6 AC.

- A) UNENCUMBERED BUFFER, OPEN SPACE AND TRAILS
- B) DETENTION AREAS SHALL QUALIFY AT A 25% CREDIT FOR PUBLIC PARK SUBJECT TO:
  - 5:1 MAXIMUM SIDE SLOPE
  - MIN. 60' FRONTAGE ON A PUBLIC STREET
  - ADDITIONAL MAN-MADE IMPROVEMENTS INCLUDING, TRAIL BENCHES, AND LANDSCAPE (LANDSCAPE BUFFERS TO COUNT AS REQUIRED OPEN SPACE SUBJECT TO MINIMUM 15' WIDE AND CONTAINING REQUIRED 1 1/2" CALIPER TREES).

● INDICATES PRIVATE NEIGHBORHOOD PARK MINIMUM 1/4 AC. (SEE NOTE)

● INDICATES PUBLIC NEIGHBORHOOD PARK

○ 1/4 MILE RADIUS SERVICE AREA

— INDICATES OPTIONAL 12' WIDE SHARED USE TRAIL

NOTE: 6' MINIMUM SIDEWALK REQUIRED ON BOTH SIDES OF THE SPINE ROAD OR A 10' SHARED USE TRAIL ON ONE SIDE OF THE SPINE ROAD.

● Note:  
Recreation sites shall provide a variety of recreational uses—passive and active. At minimum, a recreation site shall include a paved plaza area. The plaza area shall be a minimum of 500 sq.ft. and shall include a decorative paving pattern. Each site shall include at least 2 benches, 2 shade trees and a drinking fountain.

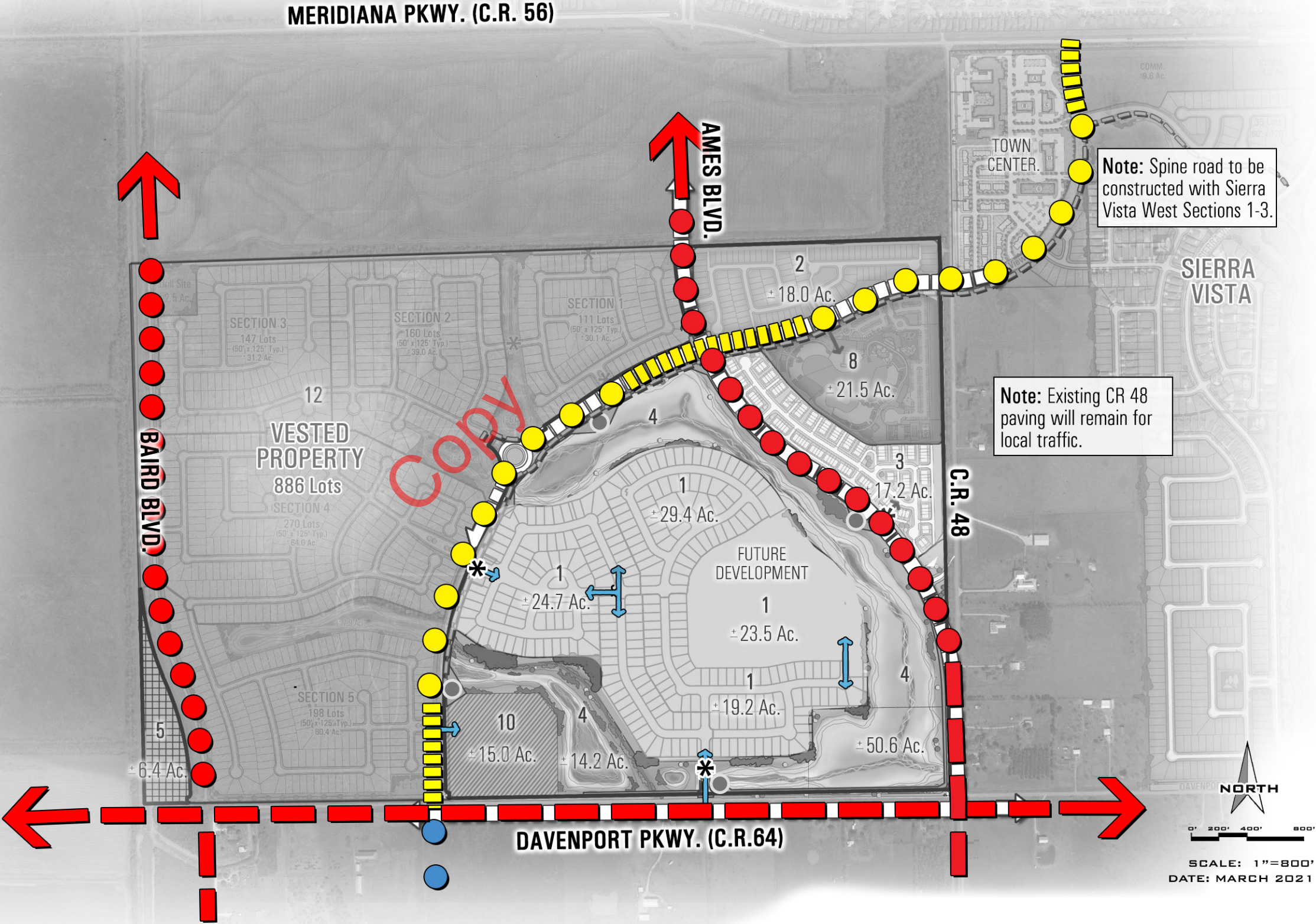




# Sierra Vista West

## Thoroughfare Exhibit

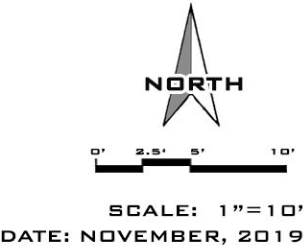
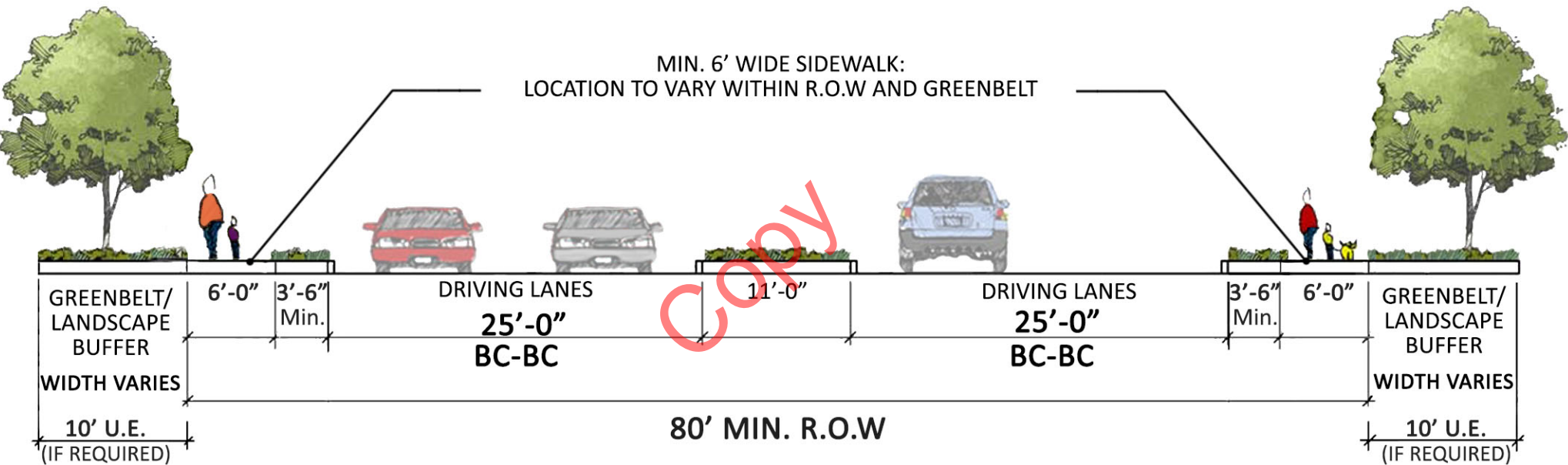
FIGURE 4





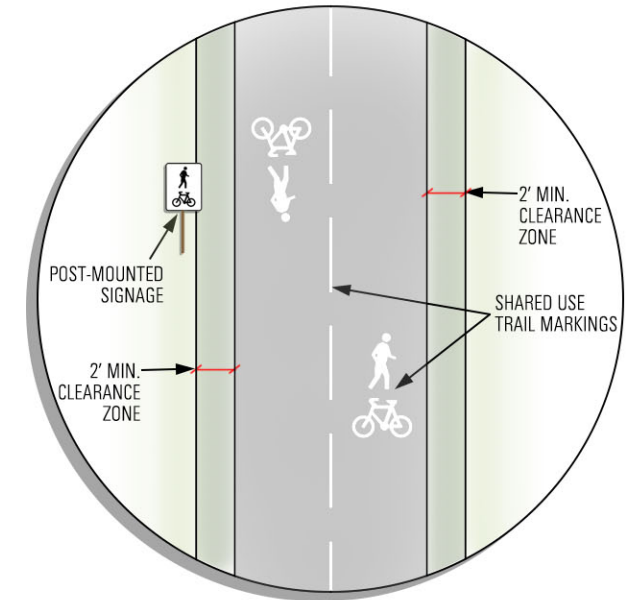
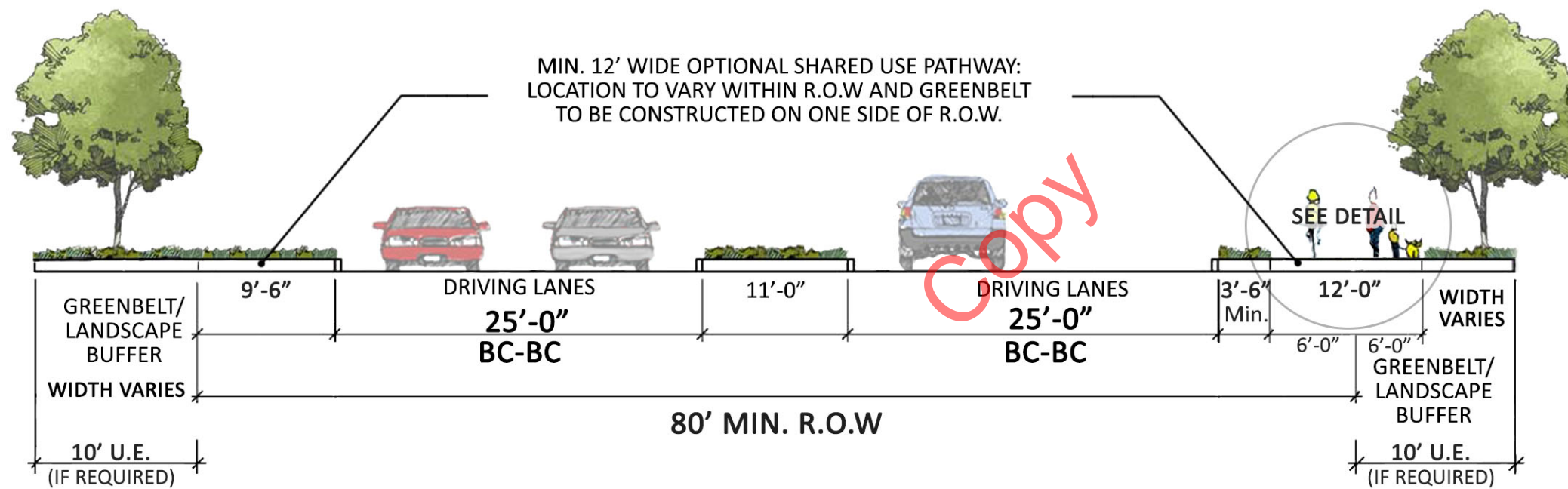
Street Cross Section  
for Spine Road (Divided)

PROPOSED STREET CROSS SECTION  
SPINE ROAD (DIVIDED)



## Street Cross Section for Spine Road (Divided) with Shared Use Trail

### PROPOSED STREET CROSS SECTION SPINE ROAD (DIVIDED) SHARED USE TRAIL



#### SHARED USE TRAIL DETAIL:

- 12' MINIMUM TRAIL
- POST-MOUNTED SIGNAGE  
OUTSIDE OF CLEARANCE ZONE  
AND 4' MINIMUM HEIGHT
- 8' MINIMUM TREE CLEARANCE
- 2' CLEARANCE ZONES

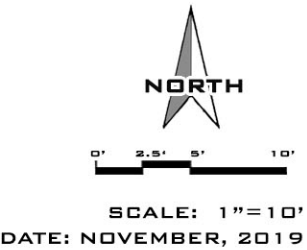
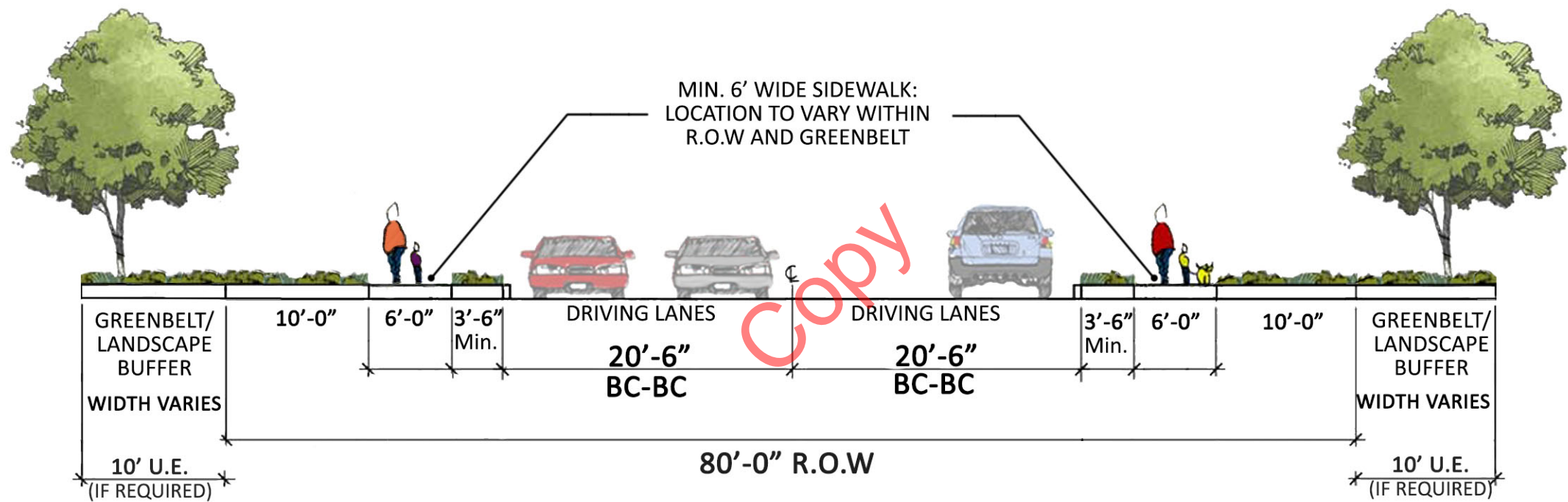


SCALE: 1"=10'  
DATE: NOVEMBER, 2019

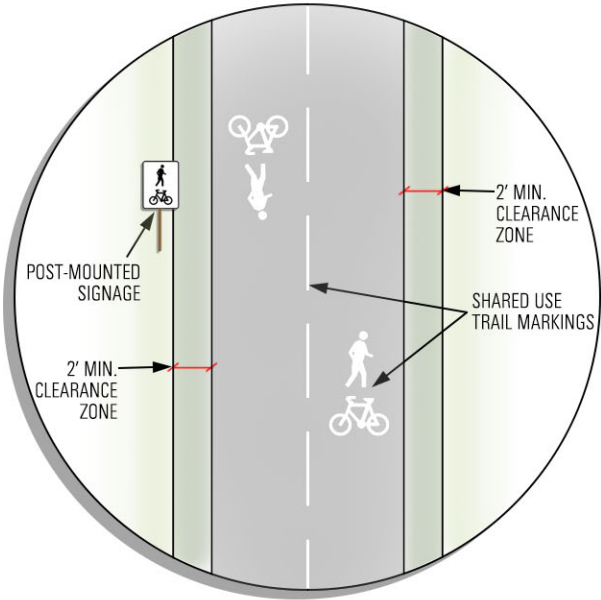
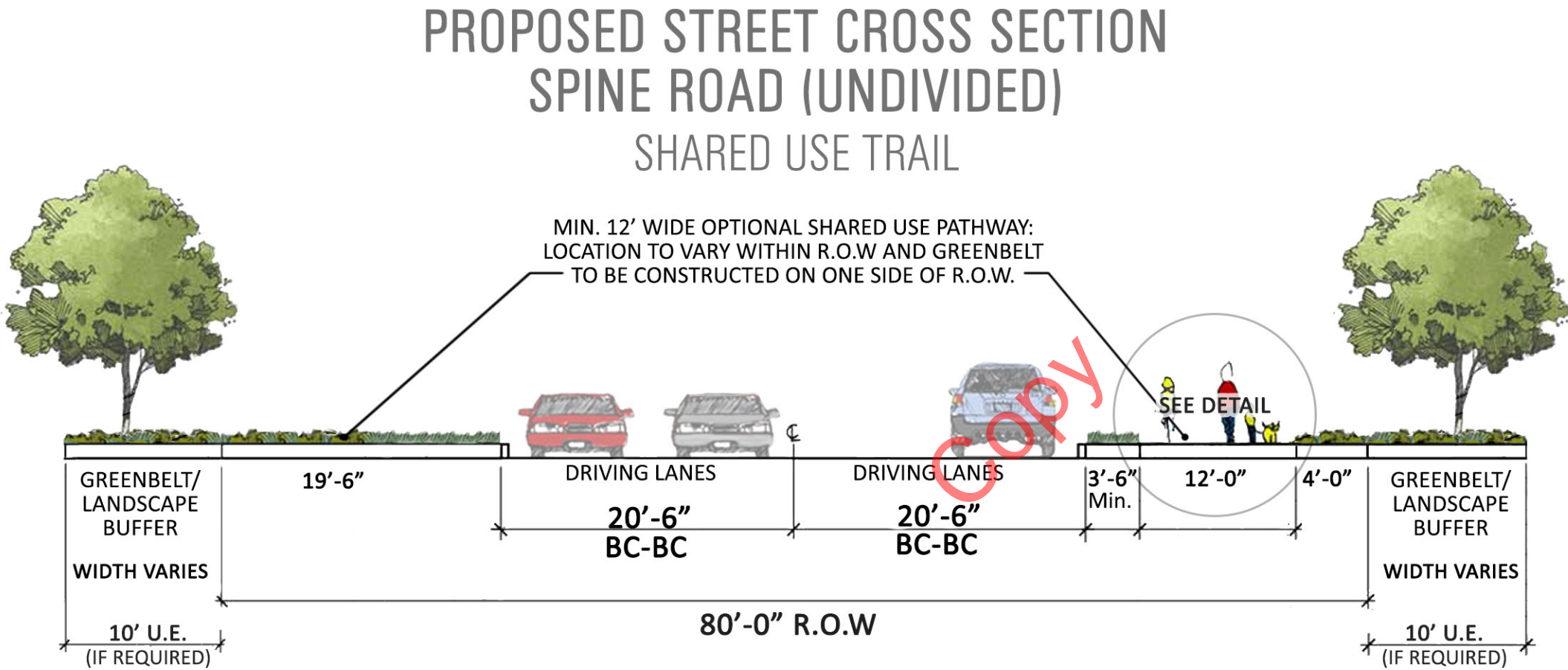


Street Cross Section  
for Spine Road (Undivided)

PROPOSED STREET CROSS SECTION  
SPINE ROAD (UNDIVIDED)

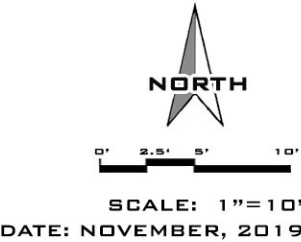


Street Cross Section  
for Spine Road (Undivided)  
with Shared Use Trail



SHARED USE TRAIL DETAIL:

- 12' MINIMUM OPTIONAL TRAIL
- POST-MOUNTED SIGNAGE  
OUTSIDE OF CLEARANCE ZONE  
AND 4' MINIMUM HEIGHT
- 8' MINIMUM TREE CLEARANCE
- 2' CLEARANCE ZONES





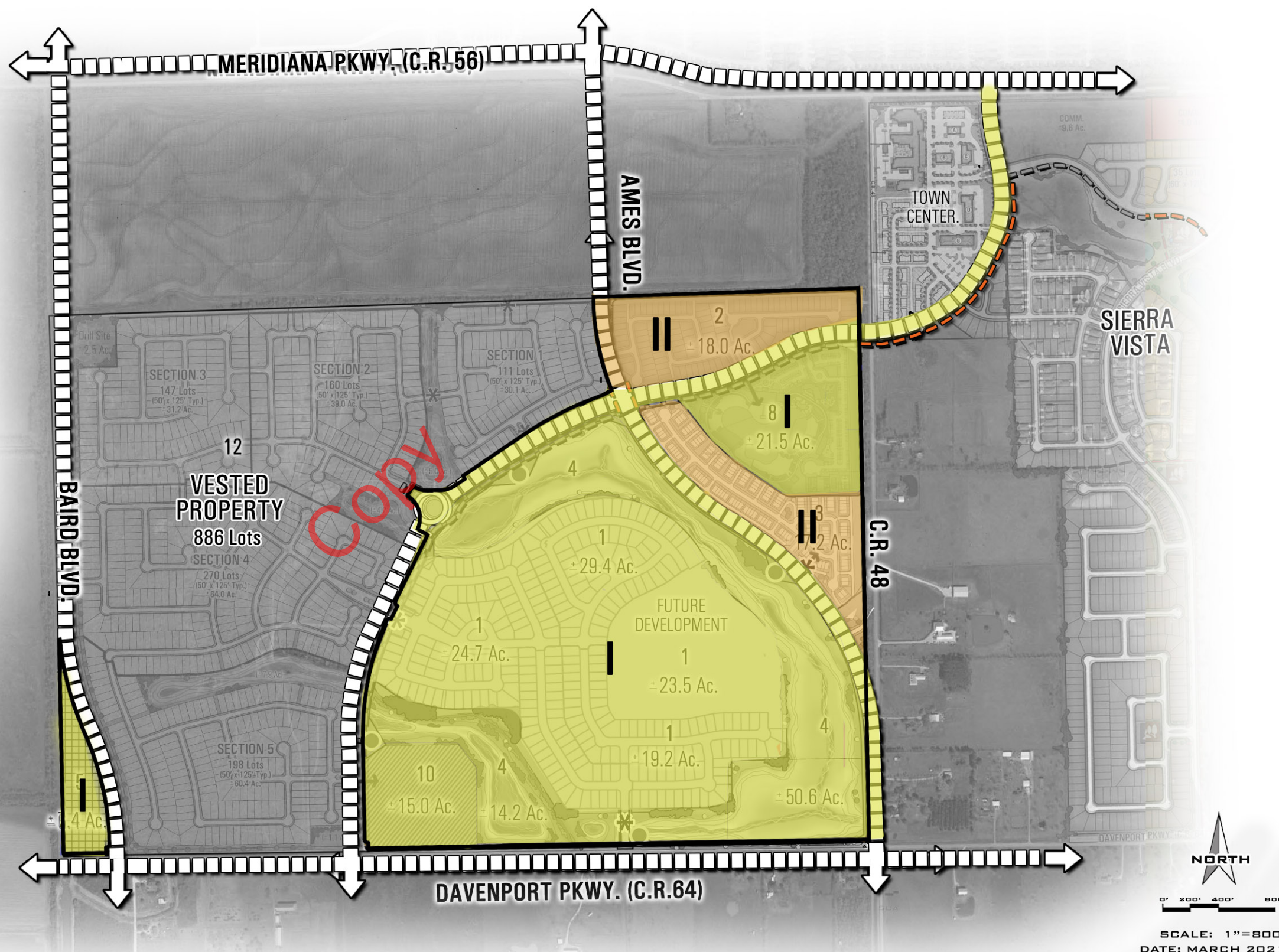
# Sierra Vista West

## Phasing Plan of Development

FIGURE 9

- PHASE I (1-2 Years)\*
- PHASE II (3-5 Years)\*
- PHASE III (6-10 Years)\*

\*THE PHASE DATES OF EACH PHASE IS SUBJECT TO CHANGE DUE TO GENERAL ECONOMIC VARIABLES AND MARKET DEMAND.





## "For Rent" Single-Family Residential Site Plan



110 TOTAL UNITS

**Density:** 6.09 DU/AC

### Setbacks:

Front Yard: Minimum 20', all buildings shall face internal PAE

Side Yard:

- a. Minimum 10' between buildings
- b. Minimum 10' on the street side of a corner unit.
- c. Minimum 25' if the unit is backing to any other public street (i.e. CR 48, Crystal View Drive, Ames Boulevard).

Rear Yard:

- a. Minimum 20' from perimeter property line
- b. Minimum 25 feet if the unit is backing to a street that is a major arterial or major collector.

**Lot Size\*:** 3,600 SF Typical 40'x90'

\*This site will not be subdivided into single-family lots. All land and residential units will be owned and maintained by a single corporate entity.

**Maximum Height: 2 Stories - 35'**

**Parking:**

- a. 2 garage spaces and 2 on-site spaces provided with each unit.
- b. 1 additional guest parking space per 4 units. (28 total) provided throughout the site.

Open Space: 

- a. 146,522 SF Open Space Provided (99,000 SF Req.)  
b. 1,332 SF Open Space per unit provided (900 SF Min.)

**Location of On-site Management Offices:** 

### Materials:

- 100% brick - 1 story structures
- 60% brick - 2 story structures

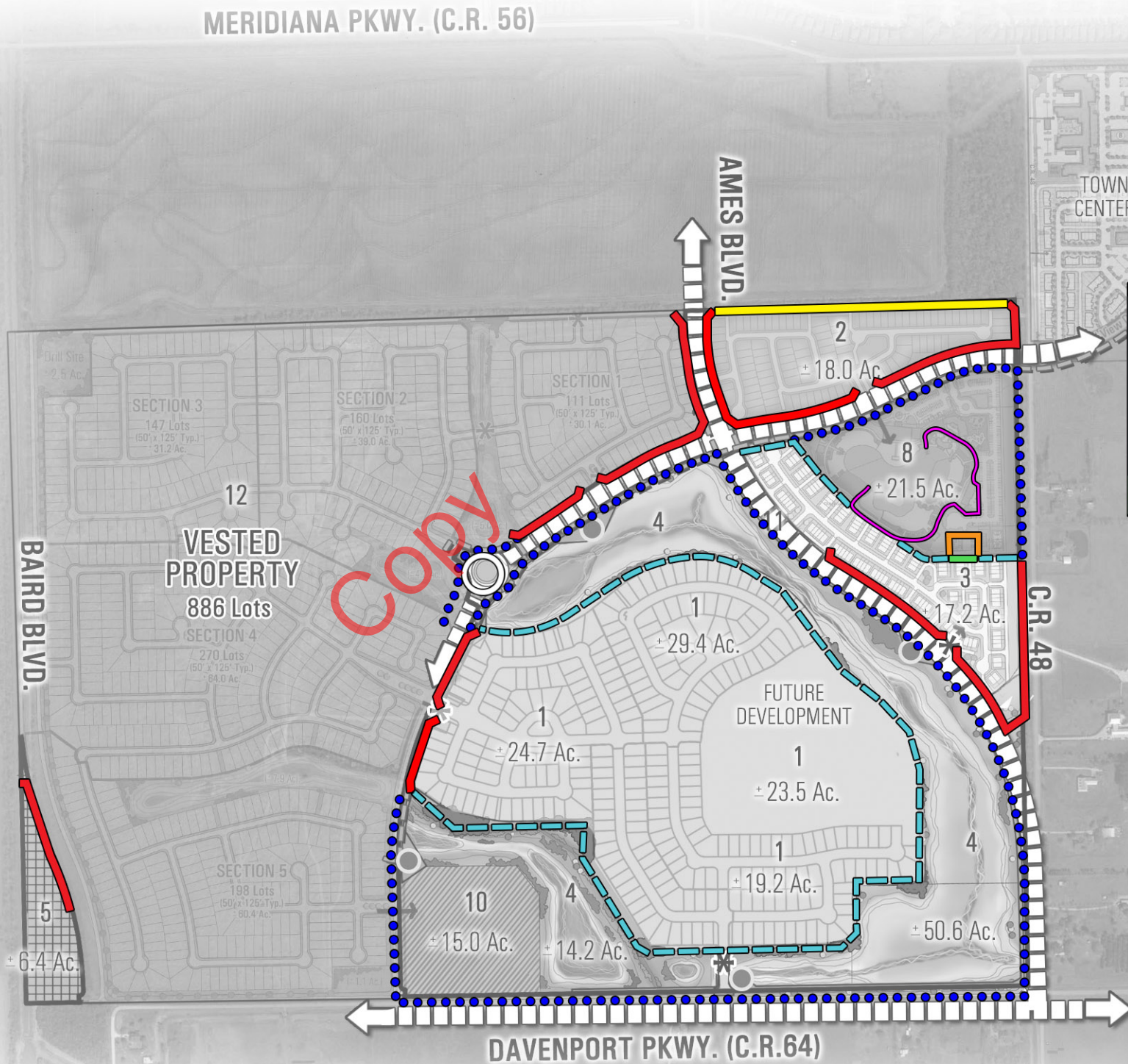
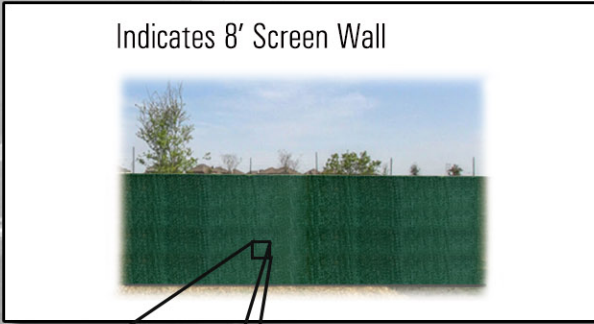
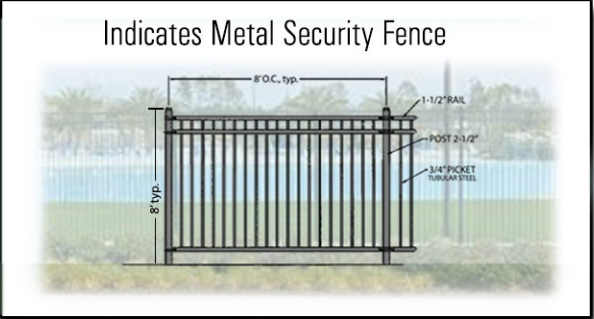
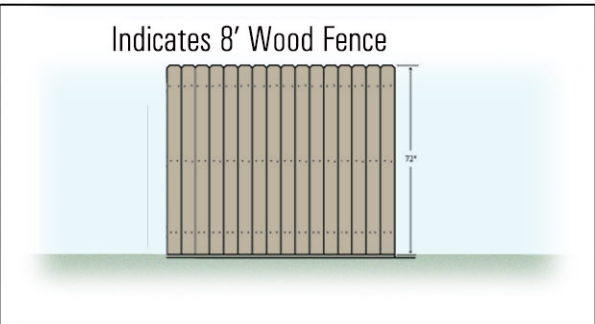
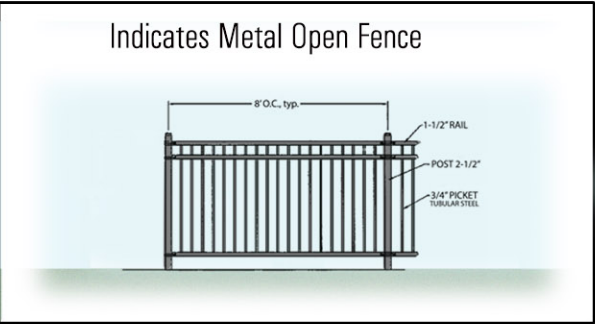


# Sierra Vista West

## Perimeter Fencing and Screening

FIGURE 11

- Indicates 6' high masonry wall
- Indicates 8' high wood fence
- Indicates 8' high masonry wall
- Indicates 6' metal open fence
- Indicates security fence  
(security fence location subject to change pending final site plan approval)
- Indicates 8' screen wall
- Indicates no fence required



SCALE: 1"=800'  
DATE: MARCH 2021



## MEMORANDUM

**Date:** May 26, 2021  
**To:** Planning Commission Members  
**From:** Dinh V. Ho, P.E.  
**RE:** City of Iowa Colony Planning & Zoning Commission Meeting, June 2021  
**CC:** Mayor Michael Byrum-Bratsen, Ron Cox, Kayleen Rosser

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Below is a summary of the Engineer's recommendations for agenda items for Planning and Zoning Meeting on June 1, 2021

5. **Meridiana Commercial Reserve No. 2 Preliminary Plat**
  - a. 34.43 acres, 1 Block, 4 Reserves
  - b. Zoning: Business Retail – Development Plat**Recommendation: Approve Preliminary Plat per LOR.**
6. **Meridiana General Development Plan**
  - a. 1144.7 acres
  - b. Zoning: Meridiana Planned Unit Development**Recommendation: Approve General Development Plan per LOR.**
7. **Meridiana Pursley Boulevard Phase 6A Preliminary Plat**
  - a. 7.84 acres
  - b. Zoning: Meridiana Planned Unit Development**Recommendation: Approve Preliminary Plat per LOR.**
8. **Meridiana Detention Reserve P Preliminary Plat**
  - a. 23.86 acres, 1 Block, 2 Reserves
  - b. Zoning: Meridiana Planned Unit Development**Recommendation: Approve Preliminary Plat per LOR.**
9. **Meridiana Section 58A Preliminary Plat**
  - a. 20.71 acres, 82 lots, 3 Blocks, 3 Reserves
  - b. Zoning: Meridiana Planned Unit Development**Recommendation: Approve Preliminary Plat per LOR.**
10. **Sierra Vista West Section 11 Preliminary Plat**
  - a. 72.86 acres, 2 Blocks, 2 Reserves
  - b. Zoning: Sierra Vista West Plan of Development**Recommendation: Approve Preliminary Plat per LOR**
11. **Sierra Vista West Section 4 Final Plat**
  - a. 62.78 acres, 8 Blocks, 6 Reserves
  - b. Zoning: Sierra Vista West Plan of Development**Recommendation: Approve Preliminary Plat per LOR**

**12. Sterling Lakes Commercial Reserves Preliminary Plat**

- a. 75.73 acres, 3 Blocks, 3 Reserves
- b. Zoning: Sterling Lakes/Sierra Vista Plan of Development - Business Retail

***Recommendation: Approve Preliminary Plat per LOR***

**13. Sierra Vista West Plan of Development Amendment No. 1**

- a. Zoning: Sierra Vista West Plan of Development

***Recommendation: Approve Plan of Development with Conditions as per LOR provided by Marsh Darcy***

Copy