

CITY OF IOWA COLONY
NOTICE OF PUBLIC HEARINGS ON JULY 6 AND 19, 2021,
ON UNIFIED DEVELOPMENT CODE AND ZONING ORDINANCE

The Iowa Colony Planning and Zoning Commission will continue a public hearing at **7:00 p.m. on August 3, 2021**, and the Iowa Colony City Council will continue a public hearing at **7:00 p.m. on August 16, 2021**, each in the Council Chambers at the Iowa Colony City Hall, 12003 Iowa Colony Boulevard, Iowa Colony, Texas on amending the Unified Development Code and the Zoning Ordinance on: (1) regulations, procedures, and authority under those ordinances for the City Council, Building Codes Board of Appeals, Zoning Board of Adjustment, Planning and Zoning Commission, and other boards and commissions; and (2) building transparency, build-to lines, external building requirements, and other building regulations. All interested persons may be heard concerning these matters.

Kayleen Rosser
City Secretary

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MEMORANDUM

Date: August 11, 2021
To: Mayor Michael Byrum-Bratsen
City Council Members
From: Dinh V. Ho, P.E.
RE: COIC Council Meeting – August 2021 Engineer's Report
cc: Robert Hemminger, Kayleen Rosser

The following is a status report of various engineering items:

1. TxDOT Overpasses – TxDOT is expected to have the 90% drawings completed by May 2021 TxDOT for the following grade crossing. Iowa Colony Blvd., Meridiana Parkway, Cedar Rapids Parkway, Davenport Parkway and Dubuque Parkway though Iowa Colony. They are also building an overpass at County Road 60.

The proposed schedule is completion of engineering design by September 2021. Construction is scheduled to be let for September 2022.

Branding: We are working on design options for the logo and will present to the City of review prior to completing the construction document drawings.

2. Crystal Lagoon- No change at this time.
3. AMES ROAD BRIDGE
 - Subject to Environmental Clearance – Expected to start bidding in Summer 2021. Grantworks has informed us additional information was required for the environmental and have had resubmitted in June.
4. ROADWAY REPAIRS
 - Interlocal with BC Agreement for FY 2020-2021 has been submitted and approved by Commissioners Court. County has requested the City to reduce the total mileage to a total of 2 miles.
 - The City received confirmation from Brazoria County for CDBG-HUD funds. The City allocation this year is \$140,000. Staff has identified CR 382 as the road to be repaired for this funding. Note, funds must be used for areas that meets the Low to Moderate income level. This has been submitted to the County.
 - Jeremy is awaiting a schedule from Brazoria County on when these improvements will be started.
5. GRANTS UPDATE
 - We will be submitting the following grants
 - i. TWBD- FIF GRANT – Master Drainage Plan
 1. Mayor is signed the agreement.
 2. Closing for this grant is scheduled for August 18, 2021.
6. CONSTRUCTION PROJECT STATUS:
 - A. MERIDIANA SUBDIVISION – RISE COMMUNITIES
 - Active construction projects
 - Meridiana Ph 3 Well Site Park – 99% complete. Punchlist items being completed.
 - BCMUD 55 MER WWTP Exp to 0.48 MGD- 90% complete.
 - B. STERLING LAKES – LAND TEJAS

- Active construction projects.
 - BCMUD 31 WWTP Expansion Ph IV – 99% complete. Awaiting final closeout documents.

C. *SIERRA VISTA - LAND TEJAS*

- Active construction projects
 - Meridiana Parkway Phase 5 – 95% complete
 - Meridiana Parkway Phase 6 – 95% complete
 - Meridiana Parkway Traffic Signal – Construction has started on this project. Contractor has drilled piers.

D. *SIERRA VISTA WEST - LAND TEJAS*

- Active construction projects:
 - BCMUD 53 Water Well Plant – Awaiting final punchlists.
 - Sierra Vista West Mass Grading and Detention Phase II – Awaiting final walkthrough.
 - BCMUD 53 WWTP- 90% complete.
 - BCMUD 53 Offsite Lift Station – 90% complete.
 - Crystal View Drive Phase III – Final Walkthrough
 - Sierra Vista West Section 4 – 90% complete
 - Sierra Vista West Section 5 – 80% complete

E. *OTHER CONSTRUCTION PROJECTS*

- AISD H.S. No. 4 – 90% of civil complete internally.
- Davenport/Discovery Drive: Under construction.
- City has negotiated and near completed acquisition of one tract.
- Will require acquisition of the other tract.

7. *OTHER ITEMS:*

- A. Baymark Pipeline/ South Texas NGL Pipeline – Contractor complete. Awaiting final closeout.

MEMORANDUM

Date: August 3, 2021
To: City Council Meeting
From: Dinh V. Ho, P.E.
RE: City of Iowa Colony Planning & Zoning Commission Meeting, August 2021
CC: Mayor Michael Byrum-Bratsen, Robert Hemminger Kayleen Rosser, David Hurst

Below is a summary of the Planning and Zoning Commission recommendation to Council for agenda items for Planning and Zoning Meeting on August 3, 2021

1. **Meridiana Section 58B Preliminary Plat**
 - a. 13.97 acres, 64 Lots, 2 Block, 2 Reserves
P&Z Recommendation: Approve Preliminary Plat per LOR.
2. **Sterling Lakes North Section 1 Preliminary Plat**
 - a. 98.190 acres, 8 Blocks, 11 Reserves
P&Z Recommendation: Approve Preliminary Plat per LOR.
3. **Sterling Lakes North Section 2 Preliminary Plat**
 - a. 13.22 acres, 38 Lots, 3 Blocks, 3 Reserves
P&Z Recommendation: Approve Preliminary Plat per LOR.
4. **Sterling Lakes North Section 3 Preliminary Plat**
 - a. 27.67 acres, 96 Lots, 4 Block, 8 Reserves
P&Z Recommendation: Approve Preliminary Plat per LOR.
5. **Sterling Lakes North Section 4 Preliminary Plat**
 - a. 13.36 acres, 39 lots, 2 Blocks, 1 Reserves
P&Z Recommendation: Approve Preliminary Plat per LOR.
6. **Sterling Lakes North Section 5 Preliminary Plat**
 - a. 51.79 acres, 83 Lots, 3 Blocks, 2 Reserves
P&Z Recommendation: Approve Preliminary Plat per LOR.
7. **Sterling Lakes North Section 6 Preliminary Plat**
 - a. 23.37 acres, 100 Lots, 3 Blocks, 4 Reserves
P&Z Recommendation: Approve Preliminary Plat per LOR.
8. **Sterling Lakes North Section 7 Preliminary Plat**
 - a. 29.38 acres, 58 Lots, 1 Blocks, 1 Reserves
P&Z Recommendation: Approve Preliminary Plat per LOR.

9. Sierra Vista/Sterling Lakes Plan of Development Amendment No. 3

- a. Commercial uses along the south side of Meridiana Parkway, west of Sierra Vista Drive
- b. Approval of temporary "sales office" west of Crystal View Dr.
- c. Change in language regarding "Swing" uses on the tract west of Karsten Blvd.

P&Z Recommendation: Approve Plan of Development with Conditions per LOR including the following:

- ***Expand commercial site from 8.2 acres to 11.8 acre (to include the Crystal Lagoon Sales Trailer)***
- ***Incorporate the final SFR lot count and size to confirm conformance with Development Agreement.***

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IOWA COLONY POLICE DEPARTMENT

12003 Iowa Colony Blvd.
Iowa Colony, Texas 77583

Aaron I. Bell
Chief of Police

Phone: (281) 369-3444
Fax: (281) 406-3722

Monthly Report July 2021

Offense	Reported
Burglary	1
Theft	1
Robbery	0
Total Index Crimes Reported	3
Reports Taken	
Misdemeanor	8
Felony	7
Charges Filed/Arrests	
Misdemeanor	4
Felony	2
Outside Agency Warrant Arrest	0
Traffic Enforcement	
Citations	270
Warnings	21
Crash Investigations	
Minor Crashes	6
Major Crashes	4
Fatality Crashes	0
Calls for Service	
Alarms	41
Assist Other Agency	62
Disturbance	7
Fire	1
Other	195
Security Checks	1135
Suspicious Activity/Persons	24

Significant Events

- July 1 – Officer, along with BCESD 3 EMS, was dispatched to the 3600 Brattain Dr. in reference to a possible overdose. Upon arrival officer assisted with patient care until EMS arrived.
- July 4 – Officer was dispatched to the 9800 block of Joyce Dr. in reference to an assault. An arrest was made for Assault.



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- July 6 – Officer was dispatched to 10600 block of Cabot Trl. in regards to a burglary. An unknown person entered a residence under construction and stole the above stove microwave.
- July 14 – Officer was dispatched to 9800 block of Carver Dr. in reference to property damage. An arrest was later made for Criminal Mischief.
- July 18 – Officer was dispatched to 2100 block of Sterling Oaks Dr. in regards to a disturbance. An arrest was made for Assault.
- July 23 – Officer was dispatched to SH 288/Meridiana Pkwy in regards to a vehicle crash. During the crash numerous amounts of illegal narcotics and a handgun were located. A person was arrest for Possession of Marijuana, Possession of a Controlled Substance, and Felon in Possession of Firearm. Other charges will be determined after lab results are returned.

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CODE COMPLIANCE / ANIMAL CONTROL

City Ordinance Violations	9	<ul style="list-style-type: none">• 4000 Blk Dubuque – Junk Vehicle - Abated• 4000 Blk Cactus Ln – Junk Vehicle - Abated• 8600 Iowa Colony Blk – Junk Vehicles• 112 Kiowa Ct. Trash/Debris - Abated• 3700 Davenport – Fire Sprinkler - Passed
Stake Signs (Abated)	4	<ul style="list-style-type: none">• Total of (10) Stake/Bandit signs picked and disposed of at city hall.
Animals Complaints	20	<ul style="list-style-type: none">• 15 Calls for Animal at Large• 2 Animal Impounds HHS / League City Animal Shelter– 2 Dogs• 2 Close Patrol – Sterling Lakes / Meridiana• 1 DOA in roadway – Removed• 2 Close Patrols- Sterling Lakes & Meridiana
Loose Livestock	2	<ul style="list-style-type: none">• Cows put back in pastures
Bite Case / Follow Ups	5	9800 Blk Twain - Dog completed Quarantine



12003 Iowa Colony Blvd.
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MONTHLY REPORT- JULY 2021

August 10, 2021

Mayor and Council,

See July monthly report for both the Building Department and Fire Marshal's Office below.

Building Department

Inspections Conducted-

Building Inspections-	487
Plumbing Inspections -	454
Mechanical Inspections-	156
Electrical Inspections-	363

Total- 1460

Total Fees Collected-

Initial Fees-	\$208,610.85
Re- Inspection Fees-	\$4,275.00
Convenience Fee-	\$1,946.93

Total- \$214,832.78

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Fire Marshal

Conducted hydrostatic inspections to 3 sections and visual pipe inspection for 7 sections at the new high school. Project is running smooth with no issues.

Thanks,

Albert Cantu, Fire Marshal/Building Official

City of Iowa Colony
Profit & Loss Budget vs. Actual
October 2020 through July 2021

	Oct '20 - Jul 21	Budget	\$ Over Budget	% of Budget
Income				
4100 · GENERAL REVENUE				
4109 · Mixed Beverage Tax	460.11	2,000.00	-1,539.89	23.0%
4110 · City Sales Tax	340,786.50	350,000.00	-9,213.50	97.4%
4120 · Property Tax	1,950,946.14	1,164,165.53	786,780.61	167.6%
4121 · Delinquent Property Tax	37,437.59	35,000.00	2,437.59	107.0%
4130 · Property Tax - TIF - 70%	730,282.19	0.00	730,282.19	100.0%
4131 · Delinquent Tax - TIF - 70%	3,621.60	0.00	3,621.60	100.0%
4132 · City Property TIF 30%	312,978.10	0.00	312,978.10	100.0%
4133 · City Property Delinquent TIF 30%	1,552.10	0.00	1,552.10	100.0%
4134 · Intermodel Ship. Container	3,316.49	2,000.00	1,316.49	165.8%
Total 4100 · GENERAL REVENUE	3,381,380.82	1,553,165.53	1,828,215.29	217.7%
4122 · OTHER REVENUE				
4124 · Accident Reports	121.00	0.00	121.00	100.0%
4126 · MUD 31 Annexation				
MUD 31 Pub. Safety Contr.	0.00	250,000.00	-250,000.00	0.0%
MUD 32 Pub. Safety Contr.	0.00	250,000.00	-250,000.00	0.0%
4126 · MUD 31 Annexation - Other	0.00	0.00	0.00	0.0%
Total 4126 · MUD 31 Annexation	0.00	500,000.00	-500,000.00	0.0%
4122 · OTHER REVENUE - Other	4,574.33	0.00	4,574.33	100.0%
Total 4122 · OTHER REVENUE	4,695.33	500,000.00	-495,304.67	0.9%
4125 · Arrest Fees	39.76	0.00	39.76	100.0%
4200 · BUILDING & CONSTRUCTION PERMITS				
4201 · Building Construction Permits	1,654,631.21	1,375,000.00	279,631.21	120.3%
4202 · Trade Fees	61,254.75	40,000.00	21,254.75	153.1%
4203 · Reinspection Fees	32,325.00	25,000.00	7,325.00	129.3%
4204 · Signs	500.00	2,500.00	-2,000.00	20.0%
4205 · Misc Permits	4,455.10	1,000.00	3,455.10	445.5%
4206 · Dirt Work Permits	250.00	1,500.00	-1,250.00	16.7%
4207 · Driveway Permits	1,150.00	3,000.00	-1,850.00	38.3%
4210 · Culvert Permit	300.00	1,000.00	-700.00	30.0%
4211 · Commercial Vehicle Permit	500.00	3,000.00	-2,500.00	16.7%
4212 · Park Use Permit	2,075.00			
4213 · Mobile Food Unit Permit	750.00			
Total 4200 · BUILDING & CONSTRUCTION PERMITS	1,758,191.06	1,452,000.00	306,191.06	121.1%
4300 · PLAT FEES				
4301 · Preliminary Plat Fees	74,120.00	75,000.00	-880.00	98.8%
4302 · Final Plat Fees	26,790.00	40,000.00	-13,210.00	67.0%
4303 · Abbreviated Plat Fees	10,540.00	2,000.00	8,540.00	527.0%
4304 · Plat Re-Check Fee	0.00	0.00	0.00	0.0%
4305 · Admin Fee- Early Plat Recording	103,815.71	300,000.00	-196,184.29	34.6%
Total 4300 · PLAT FEES	215,265.71	417,000.00	-201,734.29	51.6%

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Accrual Basis

City of Iowa Colony
Profit & Loss Budget vs. Actual
October 2020 through July 2021

	Oct '20 - Jul 21	Budget	\$ Over Budget	% of Budget
4400 · ENGINEERING FEES				
4401 · Infrastructure Plan Review Fee	68,284.28	150,000.00	-81,715.72	45.5%
4402 · Recheck Fee	0.00	0.00	0.00	0.0%
4403 · Civil Site Plan Review Fee	199,354.52	300,000.00	-100,645.48	66.5%
4404 · Other	0.00	0.00	0.00	0.0%
Total 4400 · ENGINEERING FEES	267,638.80	450,000.00	-182,361.20	59.5%
4500 · ZONING FEES				
4501 · Rezoning Fees	0.00	3,000.00	-3,000.00	0.0%
4502 · Misc Zoning Fees	0.00	0.00	0.00	0.0%
4503 · Specific Use Permit	0.00	2,000.00	-2,000.00	0.0%
Total 4500 · ZONING FEES	0.00	5,000.00	-5,000.00	0.0%
4600 · FRANCHISE				
4601 · Franchise Tax - Electric	94,155.20	110,000.00	-15,844.80	85.6%
4602 · Franchise Tax - Gas	0.00	20,000.00	-20,000.00	0.0%
4603 · Telecommunications Fee-Sales Tax	30,677.57	10,000.00	20,677.57	306.8%
4600 · FRANCHISE - Other	0.00	0.00	0.00	0.0%
Total 4600 · FRANCHISE	124,832.77	140,000.00	-15,167.23	89.2%
4700 · CITATIONS				
4701 · Citations / Warrants	334,848.80	200,000.00	134,848.80	167.4%
4702 · Delinquent Court Collection	0.00	5,000.00	-5,000.00	0.0%
4703 · Court Security Fee	6,501.87	2,000.00	4,501.87	325.1%
4704 · Court Technology Fee	5,943.03	2,500.00	3,443.03	237.7%
4700 · CITATIONS - Other	241.00			
Total 4700 · CITATIONS	347,534.70	209,500.00	138,034.70	165.9%
4800 · SPECIAL FUNDS				
4803 · State & Federal Grants	106,002.48	0.00	106,002.48	100.0%
4805 · Park Reserves	0.00	35,000.00	-35,000.00	0.0%
Total 4800 · SPECIAL FUNDS	106,002.48	35,000.00	71,002.48	302.9%
4900 · INVESTMENT INCOME				
4910 · Interest Income	39.08	1,000.00	-960.92	3.9%
Total 4900 · INVESTMENT INCOME	39.08	1,000.00	-960.92	3.9%
Total Income	6,205,620.51	4,762,665.53	1,442,954.98	130.3%
Gross Profit	6,205,620.51	4,762,665.53	1,442,954.98	130.3%
Expense				
MUD 31 Expense	1,000,617.98			

City of Iowa Colony
Profit & Loss Budget vs. Actual
October 2020 through July 2021

	Oct '20 - Jul 21	Budget	\$ Over Budget	% of Budget
10 - ADMINISTRATION				
10-5111 - Payroll - City Secretary	46,943.78	62,831.00	-15,887.22	74.7%
10-5112 - Payroll - Part Time	0.00	17,680.00	-17,680.00	0.0%
10-5113 - Payroll-City Manager	73,031.81	100,000.00	-26,968.19	73.0%
10-5114 - Merit pool (For all employees)	0.00	0.00	0.00	0.0%
10-5115 - Payroll Clerk - Overtime	0.00	0.00	0.00	0.0%
10-5116 - Vehicle Allowance Expense	300.00			
10-5117 - Certificate Pay	0.00	0.00	0.00	0.0%
10-5121 - Payroll Expenses/Direct Dep Fee	673.89	0.00	673.89	100.0%
10-5127 - TMRS	6,195.34	18,202.06	-12,006.72	34.0%
10-5128 - Payroll Taxes	3,958.91	13,248.88	-9,289.97	29.9%
10-5129 - Texas Workforce Commission	435.40	486.00	-50.60	89.6%
10-5132 - Insurance - Health	72.00	11,660.00	-11,588.00	0.6%
10-5200 - Professional Services	700.00	0.00	700.00	100.0%
10-5210 - Legal Delinquent Citations	0.00	0.00	0.00	0.0%
10-5211 - Legal	81,397.01	100,000.00	-18,602.99	81.4%
10-5212 - Audit	30,200.00	22,000.00	8,200.00	137.3%
10-5213 - Tax Appraisal & Collection	40.00	0.00	40.00	100.0%
10-5214 - Legislative & Admin Action	0.00	5,000.00	-5,000.00	0.0%
10-5219 - Management Professional Service	5,816.50	10,000.00	-4,183.50	58.2%
10-5220 - Website - Professional				
Website Domain	434.99	400.00	34.99	108.7%
10-5220 - Website - Professional - Other	4,915.00	5,500.00	-585.00	89.4%
Total 10-5220 - Website - Professional	5,349.99	5,900.00	-550.01	90.7%
10-5225 - Equipment Maintenance	277.00			
10-5227 - Hosting BCCA Meeting	0.00	0.00	0.00	0.0%
10-5228 - Property Taxes Collection Fee	0.00	7,000.00	-7,000.00	0.0%
10-5229 - BCAD Fee	15,058.33	6,000.00	9,058.33	251.0%
10-5240 - Building Maintenance				
Prof Cleaning Services	9,000.00			
10-5240 - Building Maintenance - Other	6,806.94	50,000.00	-43,193.06	13.6%
Total 10-5240 - Building Maintenance	15,806.94	50,000.00	-34,193.06	31.6%
10-5245 - Technology	9,734.64	16,000.00	-6,265.36	60.8%
10-5246 - Software Maintenance / License	12,332.63	7,500.00	4,832.63	164.4%
10-5250 - Utilities	4,529.44	9,000.00	-4,470.56	50.3%
10-5260 - Equipment Rentals	3,064.13	3,000.00	64.13	102.1%
10-5320 - Supplies / Printing	6,311.86	12,000.00	-5,688.14	52.6%
10-5321 - Postage	206.90	750.00	-543.10	27.6%
10-5322 - Advertising & Legal Notices	5,945.76	5,000.00	945.76	118.9%
10-5323 - Telephone Expense	12,704.15	10,000.00	2,704.15	127.0%
10-5325 - Miscellaneous	5,903.89	0.00	5,903.89	100.0%
10-5326 - Well Permit Fee	0.00	30.00	-30.00	0.0%
10-5411 - Travel & Training	3,564.93	2,400.00	1,164.93	148.5%
10-5412 - Seminars/BCCA	200.00	200.00	0.00	100.0%
10-5413 - Ron's Recognition Dinner	0.00	2,000.00	-2,000.00	0.0%
10-5439 - Election Costs	5,564.20	8,000.00	-2,435.80	69.6%
10-5481 - Mayor's Special Expense	46.25	500.00	-453.75	9.3%
10-5495 - Dues	1,194.00	2,000.00	-806.00	59.7%
10-5630 - Equipment	1,732.15	500.00	1,232.15	346.4%
10-5710 - Insurance - Windstorm	8,948.00	7,500.00	1,448.00	119.3%
10-5720 - Insurance - Liability/Prop/ WC	21,765.00	20,000.00	1,765.00	108.8%
10-5721 - Bank Fees	-6.00	100.00	-106.00	-6.0%

City of Iowa Colony
Profit & Loss Budget vs. Actual
October 2020 through July 2021

	Oct '20 - Jul 21	Budget	\$ Over Budget	% of Budget
10-5722 · credit card fees	1,414.87	4,000.00	-2,585.13	35.4%
10-5724 · Longevity Pay	180.00	240.00	-60.00	75.0%
10-5725 · Grant Admin	0.00	15,000.00	-15,000.00	0.0%
10-5730 · Building Renovations	0.00	0.00	0.00	0.0%
5113 · Payroll - Office Manager	6,250.00	0.00	6,250.00	100.0%
Total 10 · ADMINISTRATION	397,843.70	555,727.94	-157,884.24	71.6%
15 · FINANCE				
15-5111 · Payroll - Senior Accountant	58,770.89	70,004.00	-11,233.11	84.0%
15-5117 · Certificate Pay	0.00	0.00	0.00	0.0%
15-5127 · TMRS	6,899.57	7,357.42	-457.85	93.8%
15-5128 · FICA	4,310.56	5,355.31	-1,044.75	80.5%
15-5129 · TWC	252.00	162.00	90.00	155.6%
15-5130 · WC	0.00	3,052.00	-3,052.00	0.0%
15-5132 · Health Insurance	2,574.94	5,830.00	-3,255.06	44.2%
15-5320 · Supplies/Printing	594.11	2,000.00	-1,405.89	29.7%
15-5321 · Postage	154.05	200.00	-45.95	77.0%
15-5410 · Technology	1,007.39	8,000.00	-6,992.61	12.6%
15-5411 · Training & Travel	275.00	5,000.00	-4,725.00	5.5%
15-5495 · Dues	0.00	2,500.00	-2,500.00	0.0%
15-5630 · Equipment	0.00	0.00	0.00	0.0%
15-5724 · Longevity Pay	0.00	0.00	0.00	0.0%
Total 15 · FINANCE	74,838.51	109,460.73	-34,622.22	68.4%
20 · POLICE DEPARTMENT				
20-5111 · Payroll - Police Chief	84,145.70	99,495.00	-15,349.30	84.6%
20-5112 · Payroll - Overtime	12,813.33	10,000.00	2,813.33	128.1%
20-5113 · Payroll - Full Time Officer	346,230.14	490,614.50	-144,384.36	70.6%
20-5114 · Telecommunications Operator	0.00	17,680.00	-17,680.00	0.0%
20-5115 · Humane/Code Enf. Officer	33,310.20	41,600.00	-8,289.80	80.1%
20-5117 · Certification Pay	11,169.18	42,100.00	-30,930.82	26.5%
20-5126 · Professional Services	6,100.00	7,000.00	-900.00	87.1%
20-5127 · TMRS	58,299.46	73,810.63	-15,511.17	79.0%
20-5128 · FICA	34,859.87	53,725.15	-18,865.28	64.9%
20-5129 · TWC	3,209.56	2,106.00	1,103.56	152.4%
20-5130 · WC	0.00	28,313.38	-28,313.38	0.0%
20-5132 · Health Insurance	34,684.74	69,960.00	-35,275.26	49.6%
20-5320 · Supplies & Printing	2,016.92	3,500.00	-1,483.08	57.6%
20-5321 · Postage	102.10	100.00	2.10	102.1%
20-5322 · Recruiting and Hiring Expenses	1,216.96	1,500.00	-283.04	81.1%
20-5324 · Cell Phone	5,528.05	7,000.00	-1,471.95	79.0%
20-5325 · Miscellaneous	1,761.87	4,900.00	-3,138.13	36.0%
20-5326 · Uniforms	4,708.12	7,500.00	-2,791.88	62.8%
20-5327 · Charitable	0.00	0.00	0.00	0.0%
20-5410 · Technology	10,139.54	18,000.00	-7,860.46	56.3%
20-5411 · Travel & Training	-4,855.95	5,000.00	-9,855.95	-97.1%
20-5412 · Radio Service	7,578.78	3,300.00	4,278.78	229.7%
20-5413 · Radio Equipment	1,314.03	2,000.00	-685.97	65.7%
20-5415 · Building Maintenance	2,181.83	2,600.00	-418.17	83.9%
20-5450 · Vehicle Equipment	-869.00	5,000.00	-5,869.00	-17.4%
20-5495 · Association Dues	838.88	1,000.00	-161.12	83.9%
20-5496 · Dues - TCLDS	0.00	0.00	0.00	0.0%
20-5497 · Animal Control	3,297.48	2,000.00	1,297.48	164.9%
20-5498 · Hospital Expense - Suspects	0.00	1,000.00	-1,000.00	0.0%

City of Iowa Colony
Profit & Loss Budget vs. Actual
October 2020 through July 2021

	Oct '20 - Jul 21	Budget	\$ Over Budget	% of Budget
20-5499 · Investigations	2,581.09	2,900.00	-318.91	89.0%
20-5724 · Longevity Pay	300.00	300.00	0.00	100.0%
20-5810 · Vehicle Insurance	8,339.00	5,000.00	3,339.00	166.8%
20-5820 · Vehicle Repairs & Maint	13,814.61	13,000.00	814.61	106.3%
20-5830 · Fuel	21,175.12	30,000.00	-8,824.88	70.6%
20-5840 · Equipment	8,269.20	10,000.00	-1,730.80	82.7%
20-5850 · Vehicle Replacement Fund	0.00	47,200.00	-47,200.00	0.0%
20-8000 · Emergency Management	2,855.78			
Total 20 · POLICE DEPARTMENT	717,116.59	1,109,204.66	-392,088.07	64.7%
25 · MUNICIPAL COURT				
25-5111 · Payroll- Municipal Court Clerk	43,393.62	45,001.00	-1,607.38	96.4%
25-5113 · Payroll - Clerk Overtime	2,762.36	2,500.00	262.36	110.5%
25-5117 · Certification Pay	1,015.30	1,200.00	-184.70	84.6%
25-5127 · TMRS	5,615.53	5,118.48	497.05	109.7%
25-5128 · FICA	3,271.63	3,725.63	-454.00	87.8%
25-5129 · TWC	344.76	162.00	182.76	212.8%
25-5130 · WC	0.00	1,962.04	-1,962.04	0.0%
25-5132 · Health Insurance	3,041.51	5,830.00	-2,788.49	52.2%
25-5210 · Legal Delinquent Citations	0.00	5,000.00	-5,000.00	0.0%
25-5216 · Judge Court Fees	14,166.25	25,000.00	-10,833.75	56.7%
25-5217 · Prosecutor Fees	48,075.00	35,500.00	12,575.00	135.4%
25-5218 · Interpreter	517.79	1,500.00	-982.21	34.5%
25-5219 · Professional Services - Muni Co	16,287.50	10,000.00	6,287.50	162.9%
25-5222 · Court Security Exp.	558.61	0.00	558.61	100.0%
25-5223 · Court Technology Exp.	1,396.42	0.00	1,396.42	100.0%
25-5315 · Payroll - Clerk	0.00	0.00	0.00	0.0%
25-5321 · Postage	62.80	500.00	-437.20	12.6%
25-5411 · Travel & Training	355.00	1,000.00	-645.00	35.5%
25-5414 · Jury Trial Expense	99.53	1,500.00	-1,400.47	6.6%
25-5415 · State Criminal Cost & Fees	124,079.73	80,000.00	44,079.73	155.1%
25-5500 · Supplies & Equipment	1,470.19	4,200.00	-2,729.81	35.0%
25-5730 · Contract Services	6,261.00	4,735.12	1,525.88	132.2%
Total 25 · MUNICIPAL COURT	272,774.53	234,434.27	38,340.26	116.4%
30 · PUBLIC WORKS DEPARTMENT				
30-5111 · Payroll - Public Works	44,617.50	55,000.00	-10,382.50	81.1%
30-5113 · Payroll - Public Works Overtime	3,580.66	2,000.00	1,580.66	179.0%
30-5117 · Certification Pay	0.00	0.00	0.00	0.0%
30-5127 · TMRS	5,935.34	5,990.70	-55.36	99.1%
30-5128 · FICA	3,603.90	4,600.00	-996.10	78.3%
30-5129 · TWC	252.00	162.00	90.00	155.6%
30-5130 · WC	0.00	2,400.00	-2,400.00	0.0%
30-5132 · Health Insurance	4,509.54	5,830.00	-1,320.46	77.4%
30-5320 · Supplies	4,349.30	7,440.00	-3,090.70	58.5%
30-5326 · Uniforms	10.81			
30-5451 · Roads./ Bridges/ Drainage	8,939.59	325,000.00	-316,060.41	2.8%
30-5452 · Mowing Roads	93,012.00	60,000.00	33,012.00	155.0%
30-5454 · Bridge Replacement	0.00	30,000.00	-30,000.00	0.0%
30-5455 · Signs & Postings	5,794.99	8,000.00	-2,205.01	72.4%
30-5456 · Public Works Maintenance	12,500.84	25,000.00	-12,499.16	50.0%
30-5461 · Park Improvements	0.00	35,000.00	-35,000.00	0.0%
30-5462 · Park Maintenance	46,903.93	70,000.00	-23,096.07	67.0%
30-5810 · Vehicle Insurance	738.00			

City of Iowa Colony
Profit & Loss Budget vs. Actual
October 2020 through July 2021

	Oct '20 - Jul 21	Budget	\$ Over Budget	% of Budget
30-5820 · Vehicle Repairs & Maint	2,036.81	6,800.00	-4,763.19	30.0%
30-5830 · Fuel	2,628.59	5,000.00	-2,371.41	52.6%
30-5840 · Equipment	17,324.27	24,000.00	-6,675.73	72.2%
30-5850 · Vehicle Replacement Fund	0.00	3,500.00	-3,500.00	0.0%
30-5860 · ROW Maintenance	0.00	5,000.00	-5,000.00	0.0%
Total 30 · PUBLIC WORKS DEPARTMENT	256,738.07	680,722.70	-423,984.63	37.7%
35 · COMMUNITY DEVELOPMENT				
35-5111 · Payroll-Building Official	58,968.81	80,000.00	-21,031.19	73.7%
35-5112 · Payroll-Permits Clerk	32,340.00	40,040.00	-7,700.00	80.8%
35-5113 · Payroll-Clerk Overtime	826.45	1,500.00	-673.55	55.1%
35-5117 · Certification Pay	0.00	480.00	-480.00	0.0%
35-5127 · TMRS	10,841.74	12,773.85	-1,932.11	84.9%
35-5128 · FICA	6,558.55	9,297.81	-2,739.26	70.5%
35-5129 · TWC	648.00	324.00	324.00	200.0%
35-5130 · WC	0.00	5,234.05	-5,234.05	0.0%
35-5132 · Health Insurance	9,205.00	8,745.00	460.00	105.3%
35-5212 · Early Platting Escrow Exp. INV	65,955.58	0.00	65,955.58	100.0%
35-5214 · Engineering Services				
35-5216 · Platting	93,885.14	150,000.00	-56,114.86	62.6%
35-5217 · Plan Review	45,530.88	100,000.00	-54,469.12	45.5%
35-5218 · Permits/Inspections	169,967.04	195,000.00	-25,032.96	87.2%
35-5214 · Engineering Services - Other	50,065.40	80,000.00	-29,934.60	62.6%
Total 35-5214 · Engineering Services	359,448.46	525,000.00	-165,551.54	68.5%
35-5215 · Building Inspector Fees	674,701.00	295,500.00	379,201.00	228.3%
35-5219 · Professional Services - Plannin	31,053.56	85,000.00	-53,946.44	36.5%
35-5220 · TIF Fund (70% of TIF revenue t	717,134.47	0.00	717,134.47	100.0%
35-5221 · ICVFD Contract Services/Equip	0.00	6,000.00	-6,000.00	0.0%
35-5246 · Software Subscription/License	3,677.28			
35-5320 · Supplies	2,106.75			
35-5326 · Uniforms	4,055.87			
35-5410 · Technology	1,171.37			
35-5411 · Travel & Training	85.00			
35-5455 · Signage & Postings	322.50	4,000.00	-3,677.50	8.1%
35-5722 · Credit Card Fees	11,631.40	10,000.00	1,631.40	116.3%
35-5724 · Longevity Pay	120.00	240.00	-120.00	50.0%
35-5820 · Vehicle Repairs & Maint	3,580.39			
35-5830 · Fuel	910.50			
35-5840 · Equipment	8,937.28			
35-5850 · Vehicle Replacement Fund	0.00	3,500.00	-3,500.00	0.0%
Total 35 · COMMUNITY DEVELOPMENT	2,004,279.96	1,087,634.71	916,645.25	184.3%

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Accrual Basis

City of Iowa Colony
Profit & Loss Budget vs. Actual
October 2020 through July 2021

	Oct '20 - Jul 21	Budget	\$ Over Budget	% of Budget
90 · CAPITAL AND PLANNING PROJECTS				
Parking and Storage Lot	0.00	0.00	0.00	0.0%
Public Safety Building Reserve	0.00	500,000.00	-500,000.00	0.0%
Purchase of Prop. Next to CH	5,212.31	0.00	5,212.31	100.0%
990 · Contingency	0.00	35,000.00	-35,000.00	0.0%
991 · PD - Vehicle	15,000.00	35,000.00	-20,000.00	42.9%
992 · PW Loader/Backhoe/Brush Truck	0.00	20,000.00	-20,000.00	0.0%
993 · Planning Projects	44,975.00	200,000.00	-155,025.00	22.5%
994 · Public Works Vehicle	0.00	0.00	0.00	0.0%
90 · CAPITAL AND PLANNING PROJECTS - Other	0.00	175,000.00	-175,000.00	0.0%
Total 90 · CAPITAL AND PLANNING PROJECTS	65,187.31	965,000.00	-899,812.69	6.8%
95 · BOND				
95-6100 · Interest Expense	18,276.98			
Total 95 · BOND	18,276.98			
Total Expense	4,807,673.63	4,742,185.01	65,488.62	101.4%
Net Income	1,397,946.88	20,480.52	1,377,466.36	6,825.7%

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City of Iowa Colony
Balance Sheet
 As of July 31, 2021

	Jul 31, 21
ASSETS	0.00
LIABILITIES & EQUITY	
Equity	
Baseball Field Reserve	22.50
Baymark Pipeline LLC	
Baymark P - Engr/Inspctn/Legal	20,540.04
Baymark Pipeline LLC - Other	182,437.50
Total Baymark Pipeline LLC	202,977.54
Cherry Crushed Concrete	23,200.00
DR Horton/MUD 87	19,532.50
Early Plat- SVW Section 3	-0.01
Early Plat - Sierra V W Sec 5	2,163,224.44
Early Plat SVW Crystal V Dr-Ph3	268,490.78
Early Plat SVW Sub Sec 4	2,489,388.23
Formosa/Lav pipeline-TRC	10,826.04
M2E3/EnterprisePipeline	-24,533.24
Meridiana Escrow	4,455.00
Old Airline Market- Axis Dev.	207.50
Sierra Vista- Land Tejas	-3,332.70
Sierra Vista West- Land Tejas	41,143.17
South Texas NGL Pipeline, LLC	
South TX NGL -Engr/Inspct/Legal	21,027.56
South Texas NGL Pipeline, LLC - Other	183,022.50
Total South Texas NGL Pipeline, LLC	204,050.06
Sterling Lakes - Land Tejas	-8,236.96
1002401 · Capital Contribution-CR 64	1,731,000.00
1002406 · Earlt Platting Escrow Sec. 13	-0.01
1002412 · Early Plat Escrow - SVW Sec 6	225,264.04
1002501 · Property Delq Tax - TIF 100%	-0.30
1002502 · Property Tax TIF-100%	10,148.27
1003600 · Opening Balance Equity	739,319.07
1003601 · Retained Earnings	-95,466.00
Total Equity	8,001,679.92
TOTAL LIABILITIES & EQUITY	8,001,679.92

NO.	LOCATION	DESCRIPTION
A	SIGNAGE	
1	Meridiana pkwy@Iowa Colony Blvd.	Cross walk sign straighten
2	Cedar Rapids @Pursley	replaced stop sign
3	Meridiana Pkwy @Iowa Colony	fix Park Sign
4	Thoreau Dr. @Faulkner	Fix Leaning sign
5	Bullard pkwy@ 288	needs sign
6	Bullard pkwy@ 288	street marker
7	Iowa Colony Blvd.@Davenport pkwy	Straighten 40 M.P.H
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B.	DEBRIS REMOVAL	
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C. MOWING/TREE TRIMMING		
1	3034 Cedar Ripids pkwy	trim trees
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D. STREET REPAIRS		
1	10227 Coastal ct	water is backing up
2	Iowa Colony @bullard	Pothole
3	Meraidana €	gurd rail
4		
5		
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9		
E. POWER LINES MAINTENANCE		
1		
Ditch Drainage issue		
1	9206 Coleridge	put the manhole cover back on
2	20601 CR62	water backing up in driveway
3	3034 Cedar Ripid pkwy	Dig ditches
4	3034 Cedar Ripid pkwy	Clean Covers
5	Acklen Run .Dr	Manhole cover

Parks		
1	Park	fix the water fountain
2	Park	MLK Day
3	Park	soccer goals
4	Park	Soccer goals
5	Park	rake baseball fields 1
6	Park	rake baseball fields 2
7	Park	rake baseball field 3
8	Park	rake baseball field 4
9	Park	Grass Cut
10	Park	Treat Ants
Miscellaneous Works		
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NO.	LOCATION	DESCRIPTION
A	SIGNAGE	
1	Pursley Blvd@Duduque Pkwy	Replace Street maker
2	Bullard pkwy@Iowa colony blvd.	Replace 45 M.P.H
3	Bullard pkwy@Iowa colony blvd.	Remove pole
4	Bullard pkwy@Iowa colony blvd.	Remove Sleeve
5	Bullard pkwy@Iowa colony blvd.	Replace Sleeve
6	Bullard pkwy@Iowa colony blvd.	Replace wage
7	Bullard pkwy@Iowa colony blvd.	Placed brick
8	Bullard pkwy@Iowa colony blvd.	Replaced No truck sign
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B.	DEBRIS REMOVAL	
1	Pursley Blvd.	Remove bed
2	Karsten Rd.	Died Horse
3	Karsten Rd.	died Dog
4	CR 56	Sand over the road
5	Iowa Colony blvd.	Sand over the road
6	Meridiana pkwy@ Iowa Colony blvd.	Sand over the road
7	Meridiana pkwy @288	Sand over the road
8	Pursely Dr	Sand over the road
9	Bullard Dr.@ Iowa Colony blvd.	Sand over the road
10	48	Sand over the road
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C. MOWING/TREE TRIMMING		
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D. STREET REPAIRS		
1	Iowa Colony blvd.	Ice over roads
2	Meridiana pkwy@ Iowa Colony blvd.	Ice over roads
3	Meridiana pkwy @288	Ice over roads
4	Pursely Dr	Ice over roads
5	Bullard Dr.@ Iowa Colony blvd.	Ice over roads
6	48	Ice over roads
7		
8		
9		
E. POWER LINES MAINTENANCE		
1		
Ditch Drainage issue		
1	9542 Ruth Rd.	Remove Culvert
2	9542 Ruth Rd.	New Culverts
3	9542 Ruth Rd. to 9532Ruth Rd.	Grade Ditch
4	6540 Ruth Rd.	remove Culvert
5	6540 Ruth Rd.	Replace Culvert
6	6540 Ruth Rd.	Remove Culvert

7	6540 Ruth Rd.	Replace Culvert
8	9535 Ruth Rd. to 9445 Ruth.Rd	Grade Ditch
9	9235 Ruth rd. to 9411 Ruth Rd.	Grade Ditch
10	8707Cactus In	Remove Culvert
11	8707 Cactus In.	Replace Culvert
12	3819 Cactus In.	Grade Ditch
13		
Parks		
1	Park	rake baseball fields 1
2	Park	rake baseball fields 2
3	Park	rake baseball field 3
4	Park	rake baseball field 4
5	Park	Grass cut
6	Park	Treat for Ant
7	Park	new Mutch
8	Baseball Field	Grass cut
9	Park	fix water line
10	Park	broken toilet
Miscellaneous Works		
1	City Hall	Temp. tester
2	City Hall	Landscaping
3	City HALL	weather Pre
4	City Hall	Well not working
5	City Hall	Pipes burst fix
6	City Hall	Covered the pipes
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NO.	LOCATION	DESCRIPTION
A	SIGNAGE	
1	Cedar Rapids pkwy going (E)	Add Sleeve
2	Cedar Rapids pkwy going (W)	Add Sleeve
3	Cedar Rapids pkwy going (E)	Add Pole
4	Cedar Ripids pkwy going (W)	Add Pole
5	Cedar Ripids pkwy going (E)	Add Littering Prohibited
6	Cedar Ripids pkwy going (W)	Add Littering Prohibited
7	Cedar Rapids Pkwy	Remove Welcome to Iowa Colony
8	Cedar Rapids Pkwy	Welcome to iowa colony
9	Cedar rapids pkwy	Welcome to iowa colony
10	Cr 190	Welcome to iowa colony
11	Cr 190	Welcome to iowa colony
12	CR56@288	Stop Sign down
13	CR56@288	Do not enter
14	Kartsen	Road Close signs
15	Kartsen	Road Close signs
16	Kartsen	Street Sign
17	Kartsen	Ordinateds 2021-09 added on
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B.	DEBRIS REMOVAL	
1	Cr 190	Pick up Trash
2	Cr 190	Pick up Trash
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14		
15		
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19		
C. MOWING/TREE TRIMMING		
1	Park	mowing
2	City Hall	mowing
3		
4		
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12		
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16		
D. STREET REPAIRS		
1	Wanda Way	Pot Hole
2	CR 382	Washout
3	Karsten	Added Gates
4	Karsten	Added Locks
5	Karsten	Make Keys
6	48 @hwy6	Pot Hole
7	48@hwy6	Pot Hole
8		
9		
E. POWER LINES MAINTENANCE		
1		
Ditch Drainage issue		
1	Bubuque	Grade Ditch
2		
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12		
13		
Parks		
1	Parks	Fix water Fixture
2	Parks	Take down basketball nets
3	Parks	Take down basketball nets
4	Parks	Take down basketball nets
5	Parks	Take down basketball nets
6	Parks	New Nets
7	Parks	New Nets
8	Parks	New Nets
9	Parks	New Nets
10	Parks	Basketball goal replacement Bot
11	Parks	Reservation
12	Parks	Reservation
13	Parks	Women restroom toilet repair
14	Parks	Men sink repair
15	Parks	pick up trash
16	Parks	Clean Restroom
Miscellaneous Works		
1	City Hall	Exterminator
2	City Hall	Mice traps
3	City Hall	Plumbing replaced
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EXHIBIT B
PLAN of DEVELOPMENT
Sterling Lakes at Iowa Colony
And
Sierra Vista

A. Introduction.

1. The property is comprised of 1,285.64 acres, consisting of residential and commercial uses with community facilities such as parks, lakes, trails, open space and other general public facilities.
2. This PD includes the following sections:
 - General Provisions
 - Land Uses
 - Development Regulations for Single Family Lots
 - Development Regulations for Commercial Tract
 - Parks, Recreation and Trails
 - School and Community Facility Sites
 - Street Plan & Cross-Sections
 - Project Phasing
 - Specific Conditions

B. General Provisions.

1. The PD approved herein must be constructed, developed, and maintained in compliance with this Agreement and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in District MU (Mixed Use District) is not contained in this Agreement, all the regulations contained in the Development Code applicable to District MU in effect on the effective date of this Agreement apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this Agreement.
In the event that there are discrepancies between the text of this document and the exhibits attached, the text shall prevail.
2. The project shall be developed in accordance with the following figures that are attached to and made part of this PD:

Figure 1:	<i>Boundary Exhibit</i>
Figure 1a:	<i>Jurisdiction Map</i>
Figure 2:	<i>General Development Plan</i>
Figure 3:	<i>Landscape and Open Space Plan</i>
Figure 4:	<i>Thoroughfare Exhibit</i>
Figure 5:	<i>Street cross section for Spine Road, (divided)</i>
Figure 6:	<i>Street cross section for Spine Road, (undivided)</i>
Figure 7:	<i>Phasing Plan of Development</i>

The project is located west of State Highway 288, between County Roads 573, Alloy Road and 64, Davenport Parkway. The property is within the William Pettus Survey, H.T. & B.R.R. Company Survey No. 68, 288, and 289, Brazoria County, Texas. As shown on [Figure 1a: Jurisdiction Map](#), parts of the proposed development lie within the City Limit, extra-territorial jurisdiction of the City of Iowa Colony, and part of the site is only within the jurisdiction of Brazoria County.

3. A homeowners' association shall be established and made legally responsible to maintain all common areas, private streets, recreation reserves and community amenities not otherwise dedicated to the public. All land and facilities dedicated to a Municipal Utility District shall be maintained by said District.
4. All future building permits shall be reviewed for conformance with this PD.
5. Access to Valley Glen Road (SH 288 frontage road) shall be limited to one public street or private non-exclusive driveway. The spacing of the intersection to Valley Glen Road shall be a minimum 1,200 feet apart and shall connect to another public street or an internal driveway network to provide mutual use, non-exclusive access to multiple users.

An additional driveway connection to Valley Glen Road may be permitted no closer than 600 feet apart with the approval of the Planning Commission upon review of a Traffic Impact Analysis, TIA, prepared specifically for the commercial use(s) proposed fronting on Valley Glen Road. The TIA shall:

- Clearly show and distinguish between all existing, proposed and future facilities on the site
- Clearly delineate and distinguish between all existing and proposed traffic improvements, including turn lanes
- Show all applicable traffic counts at all existing and proposed intersections and driveways
- Provide comparative analysis of ingress, egress and trip distribution pre and post development with and without the proposed driveway intersections on Valley Glen Road.

C. Land Uses.

1. Permitted land uses for tracts identified as Single Family Residential (SFR) on [Figure 2](#) shall be those uses permitted within District SFR of the Zoning Ordinance.
2. Permitted land uses for the Commercial tract on [Figure 2](#) shall be those uses permitted within District MU of the Zoning Ordinance. Any other commercial or non-residential use may be allowed, but only if the city council exercises its discretion to grant appropriate approval for said use.
3. Permitted land uses for the tracts identified as "Swing" on [Figure 2](#) shall be either of those uses permitted in District SFR or District MU of the Zoning Ordinance, including multi-family and townhouse residential.
 - a) Multi-Family Residential: Subject to City Council approval at the time multi-family is proposed for development.
 1. Multi-Family use is limited to two separate projects with each project containing no more than 300 units.

2. No building or structure shall exceed 3 stories or 45 feet.
 3. There shall be no more than 22 units per net platted acre. Except that if all required parking is provided within a parking garage that is screened from view of any public street, there shall be no limit on density as long as the total number of units do not exceed 300 units.
 4. At least 50% of all required parking shall be covered parking.
 5. All surface parking lots shall be screened from view of any adjacent public streets with a minimum 3 foot berm or landscape hedge.
 6. A minimum 6% of the gross area of the site shall be required as landscaping.
- b) Townhouse Residential
1. Townhouse Residential is limited to no more than 15 units to the acre
 2. No building or structure shall exceed 35 feet.
 3. Front Yard: minimum 20 feet
 4. Rear Yard: minimum 10 feet, with a minimum 25 foot rear yard if the lot is backing to a street that is a major thoroughfare
 5. Side Yard: there shall be no less than a ten-foot side yard on the street side of a corner lot, with a minimum 25 foot side yard if the side street is a major thoroughfare.
 6. The minimum lot width shall be 25 feet.
 7. The minimum lot area shall be 2,250 square feet.
 8. A minimum 6% of the gross area of the site shall be required as open space / landscaping. Off-street parking area, service drives, shall not be included in any calculation of the required open space.
 9. Guest parking shall be provided on the site at a minimum 1 space per every 6 units.
4. Within the boundary of the proposed Plan of Development, a minimum 5% of the total project acreage (65 acres) will be required for Parks/Recreation/Open Space. In addition, approximately 20 acres of land located outside the boundary of the Plan of Development shall be dedicated to the City as public park area. Land used for public park area shall have a minimum frontage of 60 feet on a public street. Portions of open space that do not have any additional man-made improvements provided by the developer, such as hiking/running trail, benches or shelters that facilitate an active human recreational role will not be considered contributing to the minimum public park area requirement. Contributing open space areas must be adjacent to and/or have frontage on public street right-of-way. Landscape buffers adjacent to public street right-of-way must be at least fifteen (15) feet wide and contain an average density of (1) tree, a minimum caliper of one and one-half inch (1-1/2") for every thirty (30') feet of street frontage, or portion thereof, measured along the street-facing lot line in order to count to contributing open space. The trees may be clustered or spaced linearly; they need not be placed evenly.
5. Should the surface rights of any designated drill sites revert to the private land owner, and that land owner desires to sell that land, the City will have the first right-of-refusal to purchase the land formerly designated as drill site land at fair market value.

D. Development Regulations for Single Family Lots – Maximum 3,320 lots permitted. Lots less than 60 feet wide = maximum 65% of 3,320 lots or a maximum 2,158 lots. (Maximum 808 lots at 45 feet wide, maximum 955 lots at 50 feet wide and minimum 395 lots at 55 feet wide or greater) Lots 60 feet wide or greater = minimum of 35% of 3,320 lots or minimum 1,162 lots. (A minimum 935 lots at 60 feet wide and a minimum 227 lots shall be greater than 60 feet wide) Single-family home sites within the PD shall be developed in accordance with the following regulations:

1. Within the areas indicated as Area Type #1 on [Figure 2](#);

The minimum lot width shall be 45 feet wide. Except: the maximum percentage of lots less than 60 feet wide shall not exceed 65 percent of the total maximum number of lots. (Maximum 2,158 lots)

No more than 808 lots shall be 45 feet wide.
No more than 955 lots shall be 50 feet wide.

2. No lots less than 50 feet wide shall be permitted south of County Road 56, Meridiana Parkway.
3. Within the areas indicated as Area Type #2 on Figure 2, the minimum lot width shall be 60 feet wide. A minimum 35 percent of the total maximum number of lots (Minimum 1,162 lots) shall be 60 feet wide or greater and at least 6.0% or 227 lots must be greater than 60 feet wide.
4. Minimum lot depth: 110 feet or 90 feet for lots fronting on the bulb portion of a cul-de-sac.
5. Maximum lot coverage: Sixty (60%) percent calculated as the ground covered by building structures, principal or accessory, of the gross lot surface area.
6. Maximum height: Two (2) stories. Roof gables, chimneys, and vent stacks may extend to a height not to exceed 35 feet above the average level of the base of the foundation of the building. Height regulations prescribed herein shall not apply to satellite earth station antennas or any personal communication electronic facilities protected by the Federal Telecommunications Act of 1996.
7. Minimum front yard building setback: 25 feet; 20 feet on cul-de-sac bulbs as measured from the front property / right-of-way line.
8. Minimum side yard building setbacks: 5 feet for interior, non-corner lots and the non-street side of corner lots; 10 feet exterior side yard for corner lots if a minimum fifteen (15) feet by fifteen (15) feet visibility triangle, as measured from the property line / street right-of-way line, that restricts the placement or maintenance of any vertical obstruction, either natural or man-made, within a vertical distance of between three (3) feet and eight (8) feet of the natural ground elevation, is provided on the platted lot subdivision at any street, public or private, intersection. A street side setback of twenty-five (25) feet minimum will be required for all lots siding on a designated major arterial, minor arterial or major collector.
9. Minimum rear yard building setback: 10 feet, except when the rear utility easement width is greater than ten (10) feet, the greater width is the minimum rear yard building setback. When a lot or a reserve is either directly adjacent to a major or minor arterial right-of-way or directly adjacent to a reserve less than fifteen (15) feet wide that is adjacent to a major or minor arterial, the minimum rear yard building setback is twenty-five (25) feet measured from the street right-of-way line and a minimum of ten (10) feet from the rear property line. When a residential lot backs to a designated major or minor arterial and a detached one-story garage is constructed on the residential lot, the rear yard between the detached one-story garage and the rear property line may be reduced to a minimum of three (3) feet if a minimum of twenty-five (25) feet is maintained between the rear of the one-story detached garage and the right-of-way line of the major or minor arterial.
10. All lots shall have a minimum of two (2) trees, planted in the front yard setback. The trees must be a minimum of one and one-half (1-1/2) inches in caliper width and a minimum height of six (6) feet as measured at the tree trunk from the ground as planted. The trees must be located between five (5) feet and fifteen (15) feet from a side lot line and between five (5) feet and twenty (20) feet from the front property line with a minimum of ten (10) feet between tree trunks.

E. Development Regulations for Commercial Tract – Area regulations, yard requirements, and maximum lot coverage, height, and floor area per District MU in the Zoning Ordinance shall apply to the Commercial tract within the PD. At the time of the preliminary plat of any commercial land, a draft of the protective covenants whereby the Developer proposes to regulate the use of the land shall be submitted to the City. The restrictive covenants, conditions or limitations shall never be less than the minimum requirements of the City as specified in the City’s applicable ordinance(s).

F. Parks, Recreation and Trails – As shown on [Figure 3](#), an integrated network of open space and recreational amenities shall be provided in accordance with the following regulations:

1. A landscape buffer with a minimum 15-foot width shall be located along each side of the central spine road, as shown on [Figure 3](#), where lots side or rear to the spine road. The buffer is in addition to the minimum street right-of-way width and shall include trees, benches, plazas and landscape screening. No on-street parking will be allowed along the designated spine road.
2. Recreational sites will be strategically located along the central spine road, and shall include the following:
 - (a) A recreational site north of Meridiana Parkway (County Road 56) near the main project entry shall include water recreation i.e., “splash pad”, and a swimming pool with dressing rooms, playground and picnic facilities.
 - (b) A recreational site south of Meridiana Parkway (County Road 56) near the main project entry shall include a club building that provides a meeting place for the community, swimming pool with dressing rooms, playground and picnic facilities.
 - (c) A recreational site north of Cedar Rapids Parkway (County Road 57).
 - (d) Additional Recreation Sites, strategically located near the entries of various neighborhood pods, as shown on [Figure 2](#). A contributing park, recreation and/or open space area must be located a maximum of one-quarter (1/4) mile from all residential lots.
 - (e) A contributing park / recreation / open space area of a minimum area of one-quarter (1/4) acre must be contained within each private gated section.
 - (f) In addition to the three recreation sites identified above, six additional recreation sites shall be provided with the following minimum improvements.
 - Recreation sites shall provide a variety of recreation uses both passive and active. At a minimum, a recreation site shall include a paved plaza area a minimum of 500 square feet and shall include a decorative paving pattern.
 - Each site shall include at least 2 benches, 2 shade trees, a drinking fountain and bicycle parking. Bicycle parking shall include racks or other structures intended for parking bicycles, with a minimum of 4 spaces.
 - At least 2 parks shall include ball field facilities for informal play, including baseball back stops and soccer goals.
 - At least 1 park shall include a fenced area with double gates for use as a dog park.
3. On-site storm water detention designed as permanent lakes will be provided within the project, providing additional open space with recreational amenities. A large lake will be located near the project entry.
Contributing open space areas shall include the area of the permanent water surface and the adjacent side slopes, at a maximum slope of 5:1, for the permanent lake with a minimum

water depth of six (6) feet beyond the slope transition. On-site storm water detention area that do not contain a permanent lake area or do not contain permanent man-made improvements, such as hike/bike trails with benches/structures, and that are not accessible with a minimum of one access point directly from a street (public or private) will not be included in the calculation for the minimum amount of required parks / recreation / open space.

- (a) A minimum of two (2) view corridors per lake with an unobstructed view from the adjacent streets with a minimum combined width of 60 feet, per lake, shall be provided to each permanent lake. The minimum width of a single view corridor is 20 feet. Views to the permanent lakes from the view corridors shall not be obstructed by fences, structures, screening or landscaping that would prevent seeing the lake area.
 - (b) View corridors shall be separated by a minimum of one thousand (1,000) feet as measured along the lake water edge. Unless the lake is less than one thousand (1,000) feet in length in which case the view corridors shall be separated by at least 4/5 the total length of the lake.
 - (c) A concrete pedestrian path a minimum of five (5) feet in width shall connect the required street sidewalk with the lake water edge.
4. Minimum 4-foot width sidewalks shall be provided along both sides of local residential streets. All sidewalks shall be constructed in accordance with the City of Iowa Colony standard details and shall meet the State of Texas ADA standards.
 5. Minimum 5-foot width sidewalks shall be provided along both sides of major arterials, minor arterials, major collectors and the central spine road (as depicted in Figure 4 attached) within and adjacent to the property. At the discretion of the developer, a six-foot wide sidewalk may be constructed on only one side of the right-of-way in lieu of two 5 foot wide sidewalks on both sides of the right-of-way. In either case, the sidewalks may meander out of the right-of-way and into an adjacent landscape reserve if so provided.

G. School and Community Facility Sites

1. As shown on Figure 2, in addition to the existing fifteen (15) acre elementary school site an additional fifteen (15) acre elementary school site shall be provided for purchase at the option of the Alvin Independent School District. If the AISD chooses not to purchase the site, the site is limited to the same uses as for tracts identified as Single Family Residential (SFR) on Figure 2. In addition a 39 acre site located outside the proposed Plan of Development shall be provided by the Developer for purchase at the option of the Alvin Independent School district for a junior high school site.
2. At no cost to the City of Iowa Colony, a 4.66 acre site located south of CR 56, and west of CR 383 shall be provided to the City, for the purpose of an EMS / Fire Station Site. As the land adjacent to the 4.66 acres provided to the City become available for development, the land shall be offered to the City of Iowa Colony as a first right-of-refusal at fair market value.

H. Street Plan and Cross Sections.

1. Street improvements shall be built in phases as the project develops in accordance with the City's Engineering Design Criteria Manual, Developers Agreement, street plan and cross sections listed below.
 - Figure 4: *Thoroughfare Exhibit*
 - Figure 5: *Street cross section for the spine road (divided) and greenbelt*
 - Figure 6: *Street cross section for the spine road (undivided) and greenbelt*

I. Project Phasing – Figure 7 indicates the general time and location of the proposed development phasing. The precise dates of each phase is subject to change due to general economic variables and market demand.

J. Specific Conditions – Implementation of this master-planned community will require consideration of site conditions that necessitate granting the following variances from specific sections of the Subdivision Ordinance and Engineering Design Criteria Manual:

1. Section 36 (D): *No block shall exceed a length of one thousand two hundred (1,200) feet in residential or commercial developments.*

All streets within the gated areas shall be private and access will be limited to local residential traffic only. Entry points will be limited for security purposes. Consequently, streets will not be stubbed to adjacent acreage, resulting in external block lengths greater than 1,200 feet. Some internal blocks will exceed 1,200 feet, to a maximum distance of 2,600 feet, to accommodate detention lakes and reserves. This variance does not apply to areas of the development that do not include private residential streets.

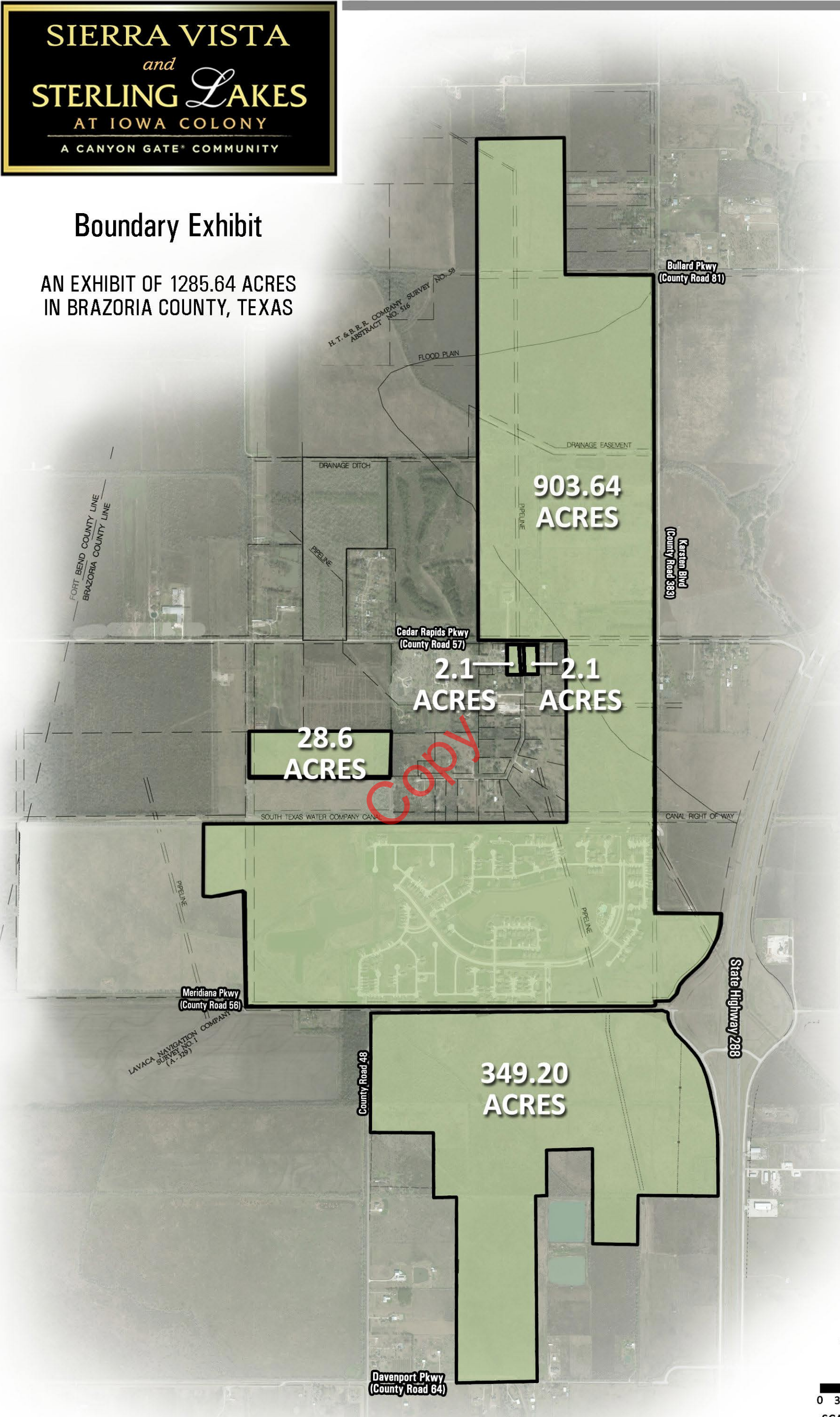
2. Section 37 (B)(5): *Access to Public Streets. The subdividing of land shall be such as to provide each lot with satisfactory access to a public street.*

All the streets in the gated portions of the community will be private with access limited to local traffic only. Gated private street neighborhoods will connect to public streets. All gated sections containing more than 35 lots shall have at least two connections to a public street. If a future second point of access is not yet constructed a temporary connection shall be provided until the permanent connection is constructed. All private streets will be constructed to the City's public street standards. A homeowners' association will assume all responsibility to repair and maintain the private streets. As such, the adherence to this requirement for the private street portions of the development will not be required.

SIERRA VISTA
and
STERLING LAKES
AT IOWA COLONY
A CANYON GATE® COMMUNITY

Boundary Exhibit

AN EXHIBIT OF 1285.64 ACRES
IN BRAZORIA COUNTY, TEXAS



0 350' 700' 1400'

SCALE: 1" = 1400'
DATE: 11.20.2015

FIGURE 1

THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL AGENCY. ADDITIONAL STREETS AND/OR DRAINAGE PROVISIONS MAY BE REQUIRED. THIS PLAN IS AN ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. ALL PLANS FOR FACILITIES OR LAND USES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

SIERRA VISTA
and
STERLING LAKES
AT IOWA COLONY
A CANYON GATE® COMMUNITY

Jurisdiction Map

LEGEND

- IOWA COLONY CITY LIMIT
- IOWA COLONY ETJ
- IOWA COLONY ETJ (BY PETITION)
- ALVIN ETJ
- ALVIN CITY LIMIT

ALL JURISDICTIONAL LINES ARE APPROXIMATE
AND SUBJECT TO CHANGE

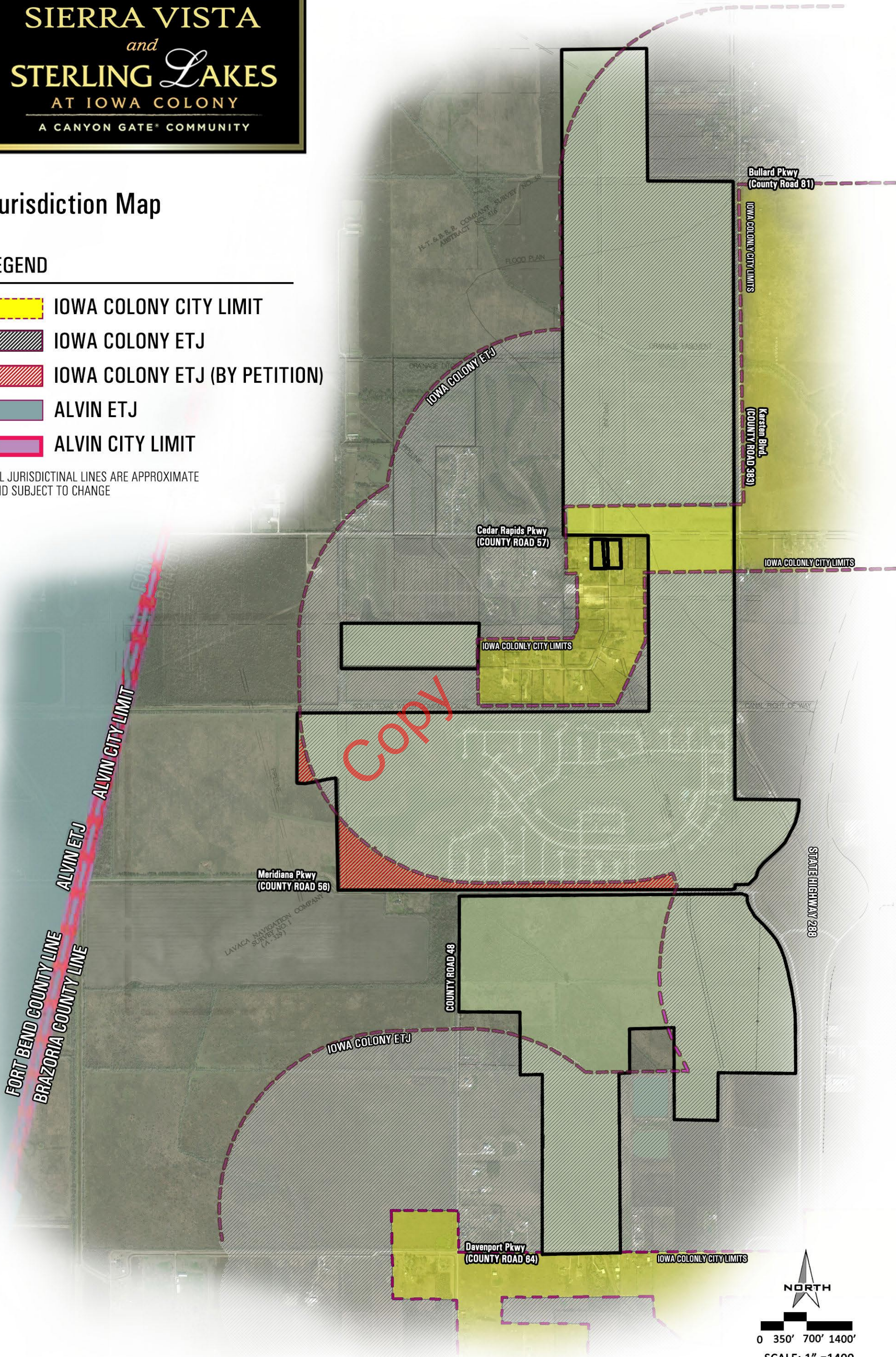


FIGURE 1A

THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE
PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL
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SIERRA VISTA
and
STERLING LAKES
AT IOWA COLONY
A CANYON GATE® COMMUNITY

General Development Plan

LEGEND

1

AREA TYPE # 1 MINIMUM 45' X 110'				
- THE MAXIMUM PERCENTAGE OF LOTS LESS THAN 60 FEET WIDE SHALL NOT EXCEED 65% OF THE TOTAL MAXIMUM NUMBER OF LOTS (MAXIMUM 2,158).				
- LOTS LESS THAN 50' WIDE SHALL NOT BE PERMITTED SOUTH OF MERIDIANA PARKWAY (CR 56).				
LOT SIZE	(A) 45' X 110'	(B) 50' X 110'	(C) 55' X 110'	(D) TOTAL LOTS < 60' X 110'
TOTAL LOTS PERMITTED	NO MORE THAN 808 LOTS PERMITTED	NO MORE THAN 955 LOTS PERMITTED	NO MORE THAN 1,663 LOTS* PERMITTED	2,158 LOTS
PLATTED/EXISTING	322 LOTS	173 LOTS	253 LOTS	748 LOTS
MAXIMUM FUTURE LOTS	NO MORE THAN 486 LOTS PERMITTED	NO MORE THAN 782 LOTS PERMITTED	NO MORE THAN 1,410 LOTS** PERMITTED	1,410 LOTS

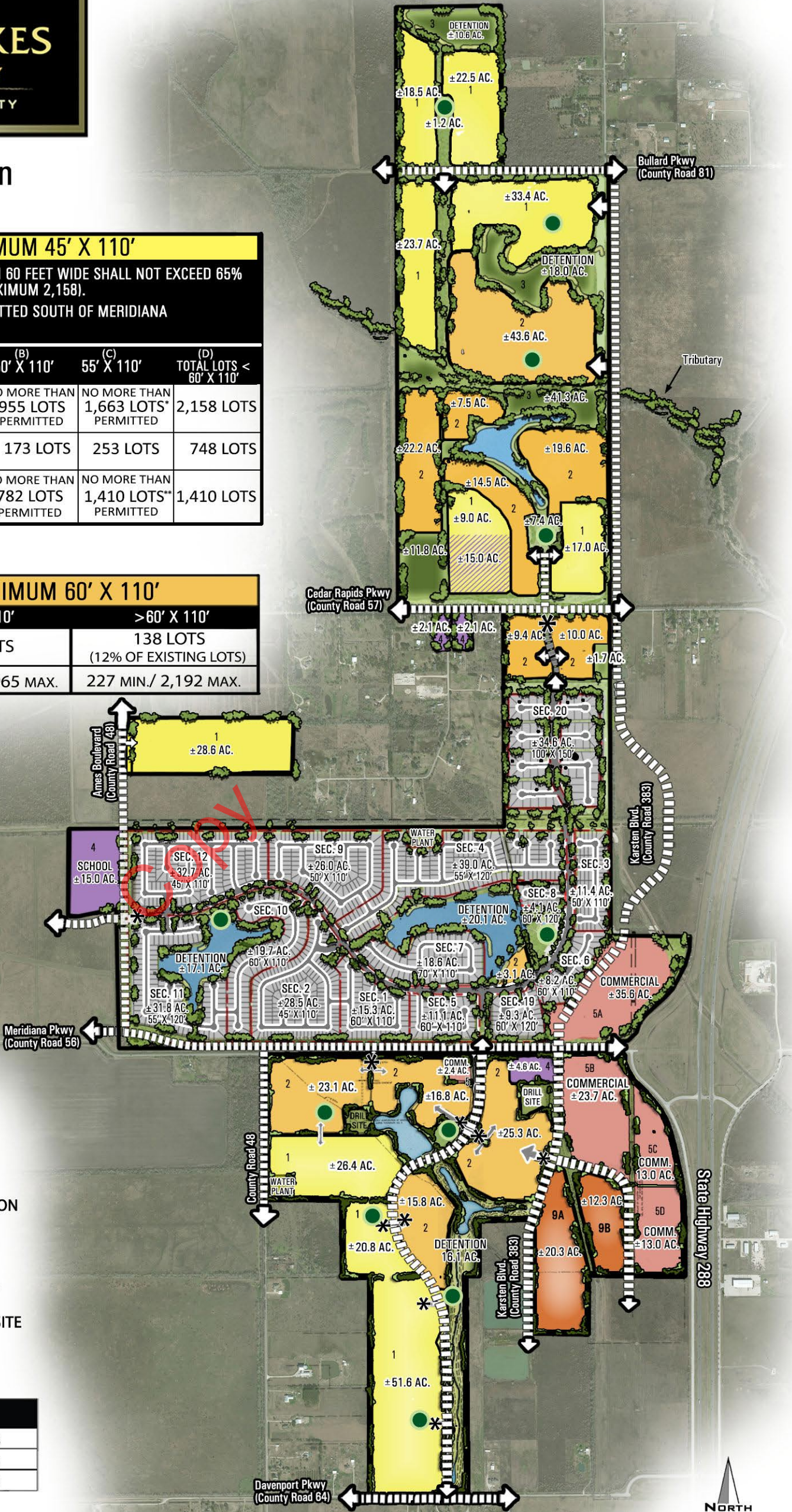
*A + B + C < 1,663
**A + B + C < 1,410

2

AREA TYPE # 2 MINIMUM 60' X 110'		
LOT SIZE	60' X 110'	>60' X 110'
PLATTED/EXISTING	242 LOTS	138 LOTS (12% OF EXISTING LOTS)
TOTAL MIN./MAX.	935 MIN./ 1,965 MAX.	227 MIN./ 2,192 MAX.

- 3 INDICATES PROPOSED DETENTION
- 4 INDICATES PROPOSED CIVIC
- 5 INDICATES PROPOSED COMMERCIAL
- 6 INDICATES PLATTED LOTS
- 7 INDICATES EXISTING LAKES/DETENTION
- 8 INDICATES PRIVATE STREET
- 9 INDICATES PROPOSED SWING
- 10 INDICATES PROPOSED GATED ENTRY
- 11 INDICATES PROPOSED RECREATION SITE
- INDICATES OPTIONAL SCHOOL SITE

TOTAL LOTS	
PLATTED/ EXISTING LOTS	1,128 LOTS
PROPOSED MAX. LOTS	2,192 LOTS
TOTAL MAX LOTS	3,320 LOTS



0 350' 700' 1400'
SCALE: 1" = 1400
DATE: 11.20.2015

FIGURE 2

THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL AGENCY. ADDITIONAL STREETS AND/OR DRAINAGE PROVISIONS MAY BE REQUIRED. THIS PLAN IS AN ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. ALL PLANS FOR FACILITIES OR LAND USES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

SIERRA VISTA
and
STERLING LAKES
AT IOWA COLONY
A CANYON GATE® COMMUNITY

Contributing Landscape and Open Space Plan

LEGEND

	ACREAGE	TOTAL %
REQUIRED OPEN SPACE	65 ACRES	5%

OPEN SPACE INCLUDES LANDSCAPE BUFFERS, DETENTION AREAS, GREEN BELTS AND RECREATION SITES.
(CONTRIBUTING RECREATION SITES SHALL BE ACCESSIBLE FROM A PUBLIC STREET.)

- INDICATES PRIVATE NON-CONTRIBUTING RECREATION SITES
- INDICATES PROPOSED RECREATION SITE MINIMUM 1/4 AC. (SEE NOTE)
- 1/4 MILE RADIUS SERVICE AREA
- PROPOSED PUBLIC PARK NOT INCLUDED IN LANDSCAPE/OPEN SPACE AREA CALCULATIONS
- INDICATES 15' MINIMUM GREENBELT/ LANDSCAPE BUFFER WITH SIDEWALK
NOTE: 6' MINIMUM SIDEWALK REQUIRED ON ONE SIDE OF THE SPINE ROAD
- INDICATES MINIMUM 5' WIDE PUBLIC STREET SIDEWALK
 - LANDSCAPE BUFFERS TO COUNT AS REQUIRED OPEN SPACE SUBJECT TO:
MINIMUM 15' WIDE AND CONTAINING REQUIRED 1½" CALIPER TREES
 - DETENTION LAKE TO COUNT AS REQUIRED OPEN SPACE SUBJECT TO:
5:1 MAXIMUM SIDE SLOPE, PERMANENT WATER SURFACE AND MINIMUM 6' WATER DEPTH

Note:
Recreation sites shall provide a variety of recreational uses-passive and active. At minimum, a recreation site shall include a paved plaza area. The plaza area shall be a minimum of 500 sq.ft. and shall include a decorative paving pattern.

Each site shall include at least 2 benches, 2 shade trees, a drinking fountain and bicycle parking. Bicycle parking shall include racks or other structures intended for parking bicycles, with a minimum of 4 spaces.

At least 2 parks shall include ball field facilities for informal play, including baseball back stops and soccer goals. At least 1 park shall include a fenced area with double gates for use as a dog park.



FIGURE 3

SIERRA VISTA

and

STERLING LAKES

AT IOWA COLONY

A CANYON GATE® COMMUNITY

Thoroughfare Exhibit

LEGEND

- MAJOR ARTERIAL (TO BE WIDENED)

(120' R.O.W. MIN.)

MAJOR ARTERIAL (PROPOSED)

(120' R.O.W. MIN.)

MINOR ARTERIAL (PROPOSED)

(120' R.O.W. MIN.)

MAJOR COLLECTOR

(80' R.O.W. MIN.)

MAJOR COLLECTOR (PROPOSED)

(80' R.O.W. MIN.)

SUPER ARTERIAL (PUBLIC)

(S.H. 288, R.O.W. VARIES)

SPINE ROAD (PUBLIC)

(80' R.O.W. MIN.)

SPINE ROAD (PRIVATE)

(80' R.O.W. MIN.)

SPINE ROAD (PUBLIC)

(60' R.O.W. MIN.)

LOCAL STREET (PUBLIC)

(60' R.O.W. MIN.)

LOCAL STREET (PRIVATE)

(60' R.O.W. MIN.)

GATED ENTRY

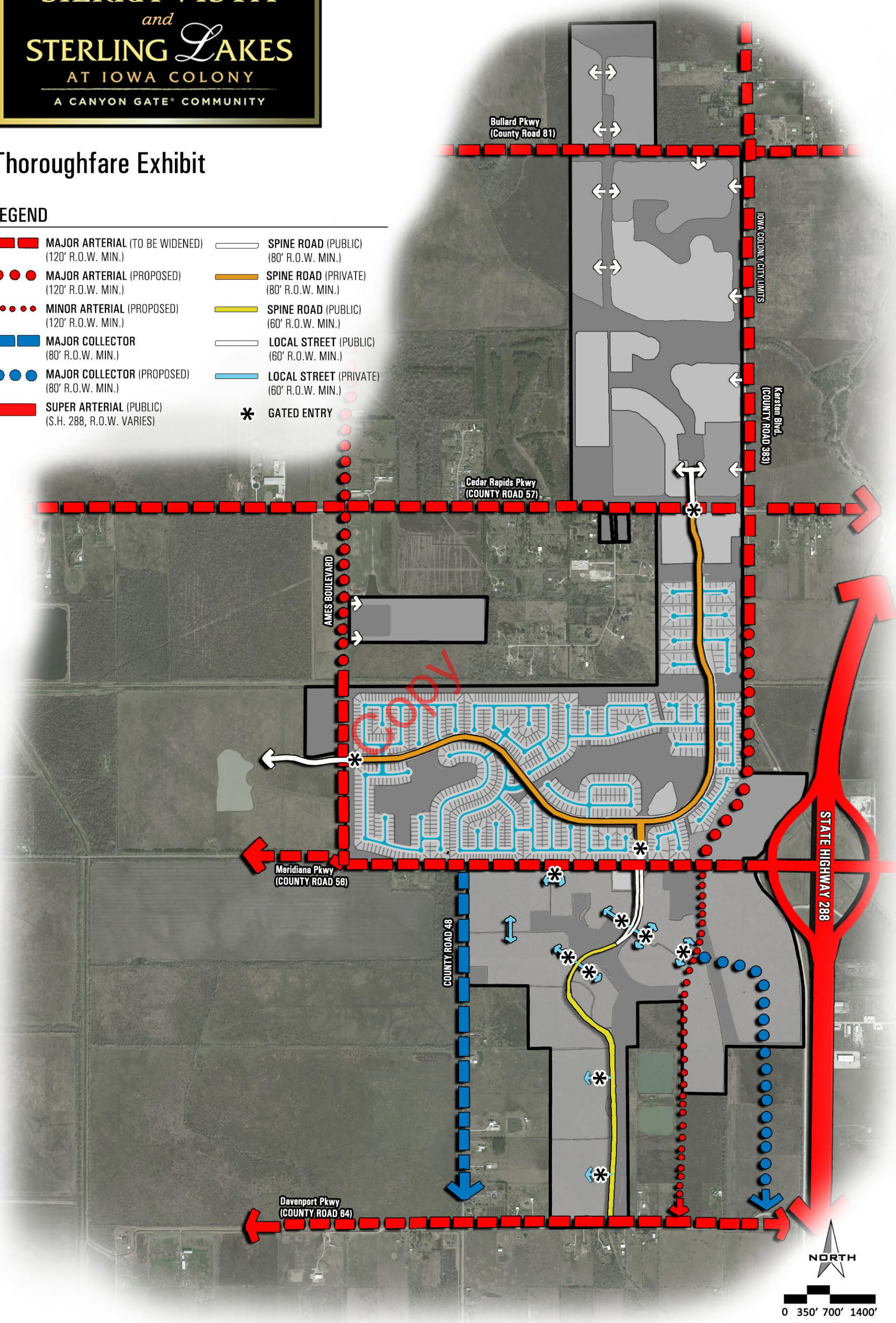


FIGURE 4

THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL AGENCY. ADDITIONAL STREETS AND/OR DRAINAGE PROVISIONS MAY BE REQUIRED. THIS PLAN IS AN ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. ALL PLANS FOR FACILITIES OR LAND USES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

SPINE ROAD (DIVIDED) PROPOSED STREET CROSS SECTION

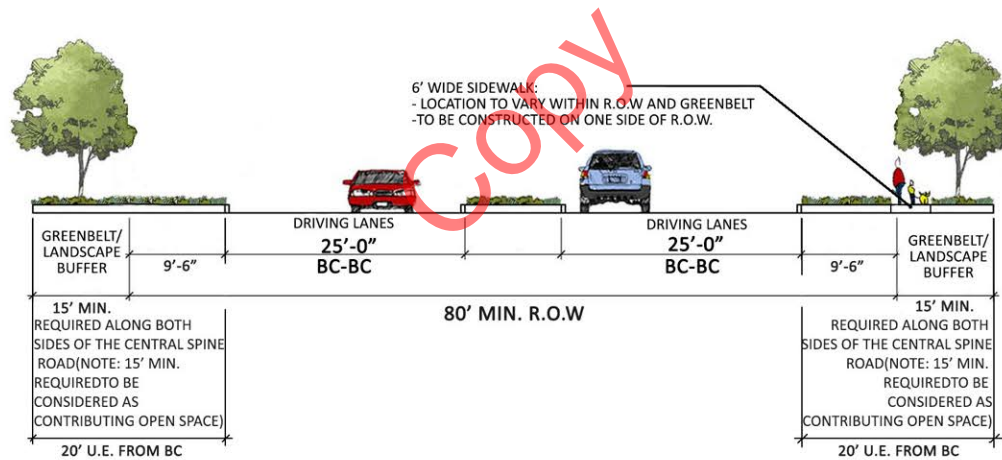


FIGURE 5

0' 5' 10' 15' 20'

SCALE 1" = 20'
DATE: 11.20.2015

SPINE ROAD (UNDIVIDED) PROPOSED STREET CROSS SECTION

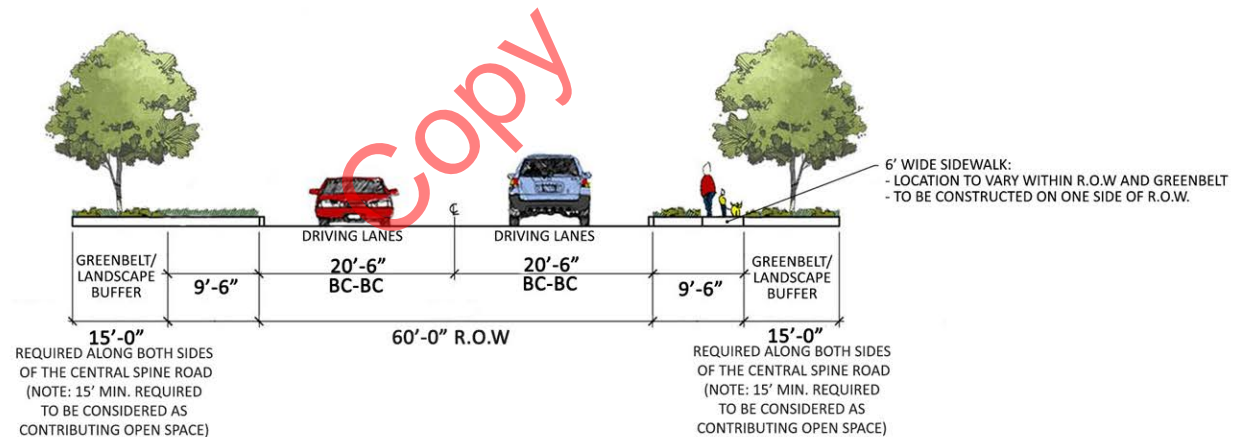


FIGURE 6

0' 5' 10' 15' 20'

SCALE 1" = 20'
DATE: 11.20.2015

SIERRA VISTA and STERLING LAKES AT IOWA COLONY A CANYON GATE® COMMUNITY

Phasing Plan

- PHASE I (1-2 Years)
- PHASE II (3-5 Years)
- PHASE III (6-10 Years)
- PHASE IV (11-20 Years)

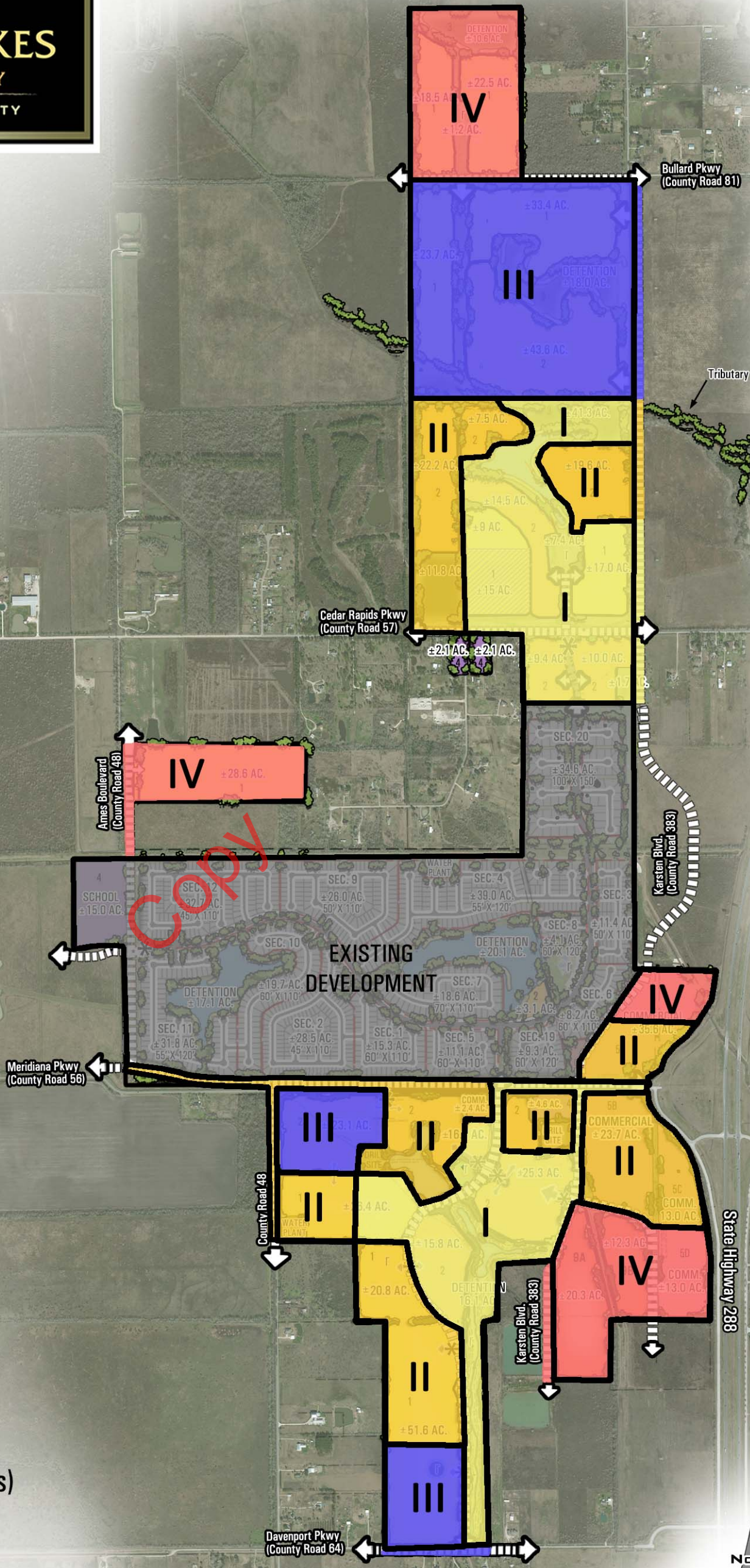


FIGURE 7

SIERRA VISTA
and
STERLING LAKES
AT IOWA COLONY
A CANYON GATE® COMMUNITY

General Development Plan

LEGEND

	AREA TYPE SF1				AREA TYPE SF2			
	45s	50s	55s	60s	65s	70s	100s	
STERLING LAKES	478	173	253	241	0	59	78	
STERLING LAKES NORTH	323	183	0	365	5	0	0	
SIERRA VISTA	0	368	0	184	0	32	0	
TOTAL	801	724	253	790	5	91	78	
	SEE NOTE 1	SEE NOTE 2	SEE NOTE 3					
	TOTAL TYPE 1		1,778	TOTAL TYPE 2		964		
	SEE NOTE 4		64.8%	SEE NOTE 5				
				TOTAL > 60'		174		
				SEE NOTE 5				

	Total Section Ac.	Total Number of Lots
STERLING LAKES	348.61	1282
STERLING LAKES NORTH	238.66	876
SIERRA VISTA	209.98	584
TOTAL	797.25	2,742 SEE NOTE 6

Note 1: Maximum 808 Lots
Note 2: Maximum 955 Lots
Note 3: Maximum 1,663 Lots
Note 4: Sum of area type #1 lots shall not exceed 65%
Note 5: Total of type #2 lots greater than 60' - Min. 6%
Note 6: Total maximum 2,800 Lots in SF1 & SF2

- INDICATES PROPOSED DETENTION
- INDICATES PROPOSED CIVIC
- INDICATES PROPOSED COMMERCIAL
- INDICATES PLATTED LOTS
- INDICATES EXISTING LAKES/DETENTION
- INDICATES PRIVATE STREET
- INDICATES PROPOSED SWING
- INDICATES PROPOSED GATED ENTRY
- INDICATES PROPOSED RECREATION SITE

TOTAL SF1 & SF2 LOTS	
PLATTED/ EXISTING LOTS	1,866 LOTS
PROPOSED MAX. LOTS-SF1&SF2	934 LOTS
TOTAL MAX SF1 & SF2 LOTS	2,800 LOTS
FUTURE TH LOTS	
MAX. FUTURE TH LOTS/UNITS	295 LOTS
TOTAL MAX LOTS/UNITS	3,095 LOTS

FIGURE 2

THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL AGENCY. ADDITIONAL STREETS AND/OR DRAINAGE PROVISIONS MAY BE REQUIRED. THIS PLAN IS AN ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. ALL PLANS FOR FACILITIES OR LAND USES ARE SUBJECT TO CHANGE WITHOUT NOTICE.



1575 Sawdust Road, Suite 400
The Woodlands, Texas 77380
Tel: 281.363.4039
Fax: 281.363.3459
www.jonescarter.com

July 27, 2021

Mr. Dinh V. Ho, P.E.
Principal
Adico Consulting Engineers
2114 El Dorado Blvd., Suite 400
Friendswood, TX 77546

Re: Plan of Development Sterling Lakes at Iowa Colony and Sierra Vista

Dear Dinh:


The purpose of this amendment is to allow for the expansion of non-residential uses, “commercial” uses along the south side of Meridiana Parkway west of Sierra Vista Drive. A subdivision plat for a Montessori school was submitted for P&Z consideration but is being deferred to make changes to the proposed site plan. This amendment will also allow for the approval of a temporary “sales office” west of Crystal View Drive.

We also changed the language regarding “Swing” uses on the tract west of Karsten Blvd. And we anticipate making additional changes to include the Road Construction Sequence Exhibit to document the agreement with the HOA regarding the timing to construct the extension of Sterling Lakes Blvd. agreed to at the July 19th City Council meeting. I have listed below the changes that were made to each of documents included in this application.

- Figure 1: *Boundary Exhibit - no change*
Figure 1a: *Jurisdiction Map - no change*
Figure 2: *General Development Plan –*
The map was revised to show the extension of “Commercial” uses along
the south side of Meridiana Blvd..
Figure 3: *Landscape and Open Space Plan – no change*
Figure 4: *Thoroughfare Exhibit – no change*
Figure 5: *Street cross section for Spine Road, (divided)- no change*
Figure 6: *Street cross section for Spine Road, (undivided) – no change*
Figure 7: *Pedestrian cross section and detail – no change*
Figure 8: *Sterling Lakes North General Plan- no change*
Figure 9: *Phasing Plan of Development – no change*
Figure 10: *to be added before CC meeting – Sterling Lakes North Road*
Construction Sequence.

We appreciate your consideration in this matter and ask that you accept the preliminary plat for consideration by the Planning Commission.

Sincerely,

A handwritten signature in black ink, appearing to read 'Stan Winter', with a stylized 'A' at the end.

Stan Winter, A.I.C.P.

Vice President

Copy

EXHIBIT B
PLAN of DEVELOPMENT
Sterling Lakes at Iowa Colony
And
Sierra Vista

A. Introduction.

1. The property is comprised of 1,285.64 acres, consisting of residential and commercial uses with community facilities such as parks, lakes, trails, open space and other general public facilities.
2. This PD includes the following sections:
 - General Provisions
 - Land Uses
 - Development Regulations for Single Family Lots
 - Development Regulations for Commercial Tract
 - Parks, Recreation and Trails
 - School and Community Facility Sites
 - Street Plan & Cross-Sections
 - Project Phasing
 - Specific Conditions

B. General Provisions.

1. The PD approved herein must be constructed, developed, and maintained in compliance with this Agreement and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in District MU (Mixed Use District) is not contained in this Agreement, all the regulations contained in the Development Code applicable to District MU in effect on the effective date of this Agreement apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this Agreement.
In the event that there are discrepancies between the text of this document and the exhibits attached, the text shall prevail.
2. The project shall be developed in accordance with the following figures that are attached to and made part of this PD:

Figure 1:	<i>Boundary Exhibit</i>
Figure 1a:	<i>Jurisdiction Map</i>
Figure 2:	<i>General Development Plan</i>
Figure 3:	<i>Landscape and Open Space Plan</i>
Figure 4:	<i>Thoroughfare Exhibit</i>
Figure 5:	<i>Street cross section for Spine Road, (divided)</i>
Figure 6:	<i>Street cross section for Spine Road, (undivided)</i>
Figure 7:	<i>Pedestrian cross section and detail.</i>

Figure 8: *Sterling Lakes North General Plan.*
Figure 9: *Phasing Plan of Development.*

The project is located west of State Highway 288, between County Roads 573, Alloy Road and 64, Davenport Parkway. The property is within the William Pettus Survey, H.T. & B.R.R. Company Survey No. 68, 288, and 289, Brazoria County, Texas. As shown on [Figure 1a: Jurisdiction Map](#), parts of the proposed development lie within the City Limit, extra-territorial jurisdiction of the City of Iowa Colony.

3. A homeowners' association shall be established and made legally responsible to maintain all common areas, private streets, recreation reserves and community amenities not otherwise dedicated to the public. All land and facilities dedicated to a Municipal Utility District shall be maintained by said District.
4. All future building permits shall be reviewed for conformance with this PD.
5. Access to Valley Glen Road (SH 288 frontage road) shall be limited to one public street or private non-exclusive driveway. The spacing of the intersection to Valley Glen Road shall be a minimum 1,200 feet apart and shall connect to another public street or an internal driveway network to provide mutual use, non-exclusive access to multiple users.

An additional driveway connection to Valley Glen Road may be permitted no closer than 600 feet apart with the approval of the Planning Commission upon review of a Traffic Impact Analysis, TIA, prepared specifically for the commercial use(s) proposed fronting on Valley Glen Road. The TIA shall:

- Clearly show and distinguish between all existing, proposed and future facilities on the site
- Clearly delineate and distinguish between all existing and proposed traffic improvements, including turn lanes
- Show all applicable traffic counts at all existing and proposed intersections and driveways
- Provide comparative analysis of ingress, egress and trip distribution pre and post development with and without the proposed driveway intersections on Valley Glen Road.

C. Land Uses.

1. Permitted land uses for tracts identified as Single Family Residential (SFR) on [Figure 2](#) shall be those uses permitted within District SFR of the Zoning Ordinance.
2. Permitted land uses for the Commercial tract on [Figure 2](#) shall be those uses permitted within District MU of the Zoning Ordinance. Any other commercial or non-residential use may be allowed, but only if the city council exercises its discretion to grant appropriate approval for said use.
3. Permitted land uses for the tracts identified as "Townhouse" on [Figure 2](#) shall meet the following requirements:
 1. Townhouse Residential is limited to no more than 15 units to the acre
 2. No building or structure shall exceed 35 feet.
 3. Front Yard: minimum 20 feet
 4. Rear Yard: minimum 10 feet, with a minimum 25 foot rear yard if the lot is backing to a street that is a major thoroughfare

5. Side Yard: there shall be no less than a ten-foot side yard on the street side of a corner lot, with a minimum 25 foot side yard if the side street is a major thoroughfare.
 6. The minimum lot width shall be 25 feet.
 7. The minimum lot area shall be 2,250 square feet.
 8. A minimum 6% of the gross area of the site shall be required as open space / landscaping. Off-street parking area, service drives, shall not be included in any calculation of the required open space.
 9. Guest parking shall be provided on the site at a minimum 1 space per every 6 units.
4. Within the boundary of the proposed Plan of Development, a minimum 5% of the total project acreage (65 acres) will be required for Parks/Recreation/Open Space. In addition, approximately 20 acres of land located outside the boundary of the Plan of Development shall be dedicated to the City as public park area. Land used for public park area shall have a minimum frontage of 60 feet on a public street. Portions of open space that do not have any additional man-made improvements provided by the developer, such as hiking/running trail, benches or shelters that facilitate an active human recreational role will not be considered contributing to the minimum public park area requirement. Contributing open space areas must be adjacent to and/or have frontage on public street right-of-way. Landscape buffers adjacent to public street right-of-way must be at least fifteen (15) feet wide and contain an average density of (1) tree, a minimum caliper of one and one-half inch (1-1/2") for every thirty (30') feet of street frontage, or portion thereof, measured along the street-facing lot line in order to count to contributing open space. The trees may be clustered or spaced linearly; they need not be placed evenly.
5. Should the surface rights of any designated drill sites revert to the private land owner, and that land owner desires to sell that land, the City will have the first right-of-refusal to purchase the land formerly designated as drill site land at fair market value.

D. Development Regulations for Single Family Lots – Maximum 2,800 lots permitted. Lots less than 60 feet wide = maximum 65% of 2,800 lots or a maximum 1,820 lots. (Maximum 808 lots at 45 feet wide, maximum 955 lots at 50 feet wide) Lots 60 feet wide or greater = minimum of 35% of total lots and a minimum 6% of the total lots shall be greater than 60 feet wide. Single-family home sites within the PD shall be developed in accordance with the following regulations:

1. Within the areas indicated as Area Type #1 on [Figure 2](#);
The minimum lot width shall be 45 feet wide. Except: the maximum percentage of lots less than 60 feet wide shall not exceed 65 percent of the total maximum number of lots.
(Maximum 1,820 lots)

No more than 808 lots shall be 45 feet wide.
No more than 955 lots shall be 50 feet wide.
2. No lots less than 50 feet wide shall be permitted south of County Road 56, Meridiana Parkway.
3. Within the areas indicated as Area Type #2 on Figure 2, the minimum lot width shall be 60 feet wide. A minimum 35 percent of the total maximum number of lots shall be 60 feet wide or greater and at least 6.0% must be greater than 60 feet wide.
4. Minimum lot depth: 110 feet or 90 feet for lots fronting on the bulb portion of a cul-de-sac.
5. Maximum lot coverage: Sixty (60%) percent calculated as the ground covered by building structures, principal or accessory, of the gross lot surface area.

6. Maximum height: Two (2) stories. Roof gables, chimneys, and vent stacks may extend to a height not to exceed 35 feet above the average level of the base of the foundation of the building. Height regulations prescribed herein shall not apply to satellite earth station antennas or any personal communication electronic facilities protected by the Federal Telecommunications Act of 1996.
 7. Minimum front yard building setback: 25 feet; 20 feet on cul-de-sac bulbs as measured from the front property / right-of-way line.
 8. Minimum side yard building setbacks: 5 feet for interior, non-corner lots and the non-street side of corner lots; 10 feet exterior side yard for corner lots if a minimum fifteen (15) feet by fifteen (15) feet visibility triangle, as measured from the property line / street right-of-way line, that restricts the placement or maintenance of any vertical obstruction, either natural or man-made, within a vertical distance of between three (3) feet and eight (8) feet of the natural ground elevation, is provided on the platted lot subdivision at any street, public or private, intersection. A street side setback of twenty-five (25) feet minimum will be required for all lots siding on a designated major arterial, minor arterial or major collector.
 9. Minimum rear yard building setback: 10 feet, except when the rear utility easement width is greater than ten (10) feet, the greater width is the minimum rear yard building setback. When a lot or a reserve is either directly adjacent to a major or minor arterial right-of-way or directly adjacent to a reserve less than fifteen (15) feet wide that is adjacent to a major or minor arterial, the minimum rear yard building setback is twenty-five (25) feet measured from the street right-of-way line and a minimum of ten (10) feet from the rear property line. When a residential lot backs to a designated major or minor arterial and a detached one-story garage is constructed on the residential lot, the rear yard between the detached one-story garage and the rear property line may be reduced to a minimum of three (3) feet if a minimum of twenty-five (25) feet is maintained between the rear of the one-story detached garage and the right-of-way line of the major or minor arterial.
 10. All lots shall have a minimum of two (2) trees, planted in the front yard setback. The trees must be a minimum of one and one-half (1-1/2) inches in caliper width and a minimum height of six (6) feet as measured at the tree trunk from the ground as planted. The trees must be located between five (5) feet and fifteen (15) feet from a side lot line and between five (5) feet and twenty (20) feet from the front property line with a minimum of ten (10) feet between tree trucks.
- E. Development Regulations for Commercial Tract** – Area regulations, yard requirements, and maximum lot coverage, height, and floor area per District MU in the Zoning Ordinance shall apply to the Commercial tract within the PD. At the time of the preliminary plat of any commercial land, a draft of the protective covenants whereby the Developer proposes to regulate the use of the land shall be submitted to the City. The restrictive covenants, conditions or limitations shall never be less than the minimum requirements of the City as specified in the City’s applicable ordinance(s).
- F. Parks, Recreation and Trails** – As shown on [Figure 3](#), an integrated network of open space and recreational amenities shall be provided in accordance with the following regulations:
1. A landscape buffer with a minimum 15-foot width shall be located along each side of the central spine road, as shown on [Figure 3](#), where lots side or rear to the spine road. The buffer is in addition to the minimum street right-of-way width and shall include trees, benches, plazas and landscape screening. No on-street parking will be allowed along the designated spine road.

2. Recreational sites will be strategically located along the central spine road, and shall include the following:
 - (a) A recreational site north of Meridiana Parkway (County Road 56) near the main project entry shall include water recreation i.e., “splash pad”, and a swimming pool with dressing rooms, playground and picnic facilities.
 - (b) A recreational site south of Meridiana Parkway (County Road 56) near the main project entry.
 - (c) A recreational site north of Cedar Rapids Parkway (County Road 57) shall include a swimming pool and splash pad, with dressing rooms, playground and picnic facilities.
 - (d) Additional Recreation Sites, strategically located near the entries of various neighborhood pods, as shown on [Figure 2](#). A contributing park, recreation and/or open space area must be located a maximum of one-quarter (1/4) mile from all residential lots.
 - (e) A contributing park / recreation / open space area of a minimum area of one-quarter (1/4) acre must be contained within each private gated section.
 - (f) In addition to the three recreation sites identified above, six additional recreation sites shall be provided with the following minimum improvements.
 - Recreation sites shall provide a variety of recreation uses both passive and active. At a minimum, a recreation site shall include a paved plaza area a minimum of 500 square feet and shall include a decorative paving pattern.
 - Each site shall include at least 2 benches, 2 shade trees, a drinking fountain and bicycle parking. Bicycle parking shall include racks or other structures intended for parking bicycles, with a minimum of 4 spaces.
 - At least 2 parks shall include ball field facilities for informal play, including baseball back stops and soccer goals.
 - At least 1 park shall include a fenced area with double gates for use as a dog park.
3. On-site storm water detention designed as permanent lakes will be provided within the project, providing additional open space with recreational amenities. A large lake will be located near the project entry.

Contributing open space areas shall include the area of the permanent water surface and the adjacent side slopes, at a maximum slope of 5:1, for the permanent lake with a minimum water depth of six (6) feet beyond the slope transition. On-site storm water detention area that do not contain a permanent lake area or do not contain permanent man-made improvements, such as hike/bike trails with benches/structures, and that are not accessible with a minimum of one access point directly from a street (public or private) will not be included in the calculation for the minimum amount of required parks / recreation / open space.

 - (a) A minimum of two (2) view corridors per lake with an unobstructed view from the adjacent streets with a minimum combined width of 60 feet, per lake, shall be provided to each permanent lake. The minimum width of a single view corridor is 20 feet. Views to the permanent lakes from the view corridors shall not be obstructed by fences, structures, screening or landscaping that would prevent seeing the lake area.
 - (b) View corridors shall be separated by a minimum of one thousand (1,000) feet as measured along the lake water edge. Unless the lake is less than one thousand (1,000) feet in length in which case the view corridors shall be separated by at least 4/5 the total length of the lake.
 - (c) A concrete pedestrian path a minimum of five (5) feet in width shall connect the required street sidewalk with the lake water edge.

4. Minimum 4-foot width sidewalks shall be provided along both sides of local residential streets. All sidewalks shall be constructed in accordance with the City of Iowa Colony standard details and shall meet the State of Texas ADA standards.
5. Minimum 5-foot width sidewalks shall be provided along both sides of major arterials, minor arterials, major collectors and the central spine road (as depicted in Figure 4 attached) within and adjacent to the property. At the discretion of the developer, a six-foot wide sidewalk may be constructed on only one side of the right-of-way in lieu of two 5 foot wide sidewalks on both sides of the right-of-way. In either case, the sidewalks may meander out of the right-of-way and into an adjacent landscape reserve if so provided.

G. School and Community Facility Sites

1. As shown on Figure 2, an approximate forty-eight acre elementary and junior high school site shall be provided for purchase at the option of the Alvin Independent School District. If the AISD chooses not to purchase the site, the site is limited to the same uses as for tracts identified as Single Family Residential (SFR) on Figure 2.
2. At no cost to the City of Iowa Colony, a 4.66 acre site located south of CR 56, and west of CR 383 shall be provided to the City, for the purpose of an EMS / Fire Station Site. As the land adjacent to the 4.66 acres provided to the City become available for development, the land shall be offered to the City of Iowa Colony as a first right-of-refusal at fair market value.

H. Street Plan and Cross Sections.

1. Street improvements shall be built in phases as the project develops in accordance with the City's Engineering Design Criteria Manual, Developers Agreement, street plan and cross sections listed below.
 - Figure 4: *Thoroughfare Exhibit*
 - Figure 5: *Street cross section for the spine road (divided) and greenbelt*
 - Figure 6: *Street cross section for the spine road (undivided) and greenbelt*

I. Project Phasing – Figure 7 indicates the general time and location of the proposed development phasing. The precise dates of each phase is subject to change due to general economic variables and market demand.

J. Specific Conditions – Implementation of this master-planned community will require consideration of site conditions that necessitate granting the following variances from specific sections of the Subdivision Ordinance and Engineering Design Criteria Manual:

1. Section 36 (D): *No block shall exceed a length of one thousand two hundred (1,200) feet in residential or commercial developments.*

All streets within the gated areas shall be private and access will be limited to local residential traffic only. Entry points will be limited for security purposes. Consequently, streets will not be stubbed to adjacent acreage, resulting in external block lengths greater than 1,200 feet. Some internal blocks will exceed 1,200 feet, to a maximum distance of 2,600 feet, to accommodate detention lakes and reserves. This variance does not apply to areas of the development that do not include private residential streets.

2. Section 37 (B)(5): *Access to Public Streets. The subdividing of land shall be such as to provide each lot with satisfactory access to a public street.*

All the streets in the gated portions of the community will be private with access limited to local traffic only. Gated private street neighborhoods will connect to public streets. All gated sections containing more than 35 lots shall have at least two connections to a public street. If a future second point of access is not yet constructed a temporary connection shall be provided until the permanent connection is constructed. All private streets will be constructed to the City's public street standards. A homeowners' association will assume all responsibility to repair and maintain the private streets. As such, the adherence to this requirement for the private street portions of the development will not be required.

Copy

SIERRA VISTA
and
STERLING LAKES
AT IOWA COLONY
A CANYON GATE® COMMUNITY

Boundary Exhibit

AN EXHIBIT OF 1285.64 ACRES
IN BRAZORIA COUNTY, TEXAS

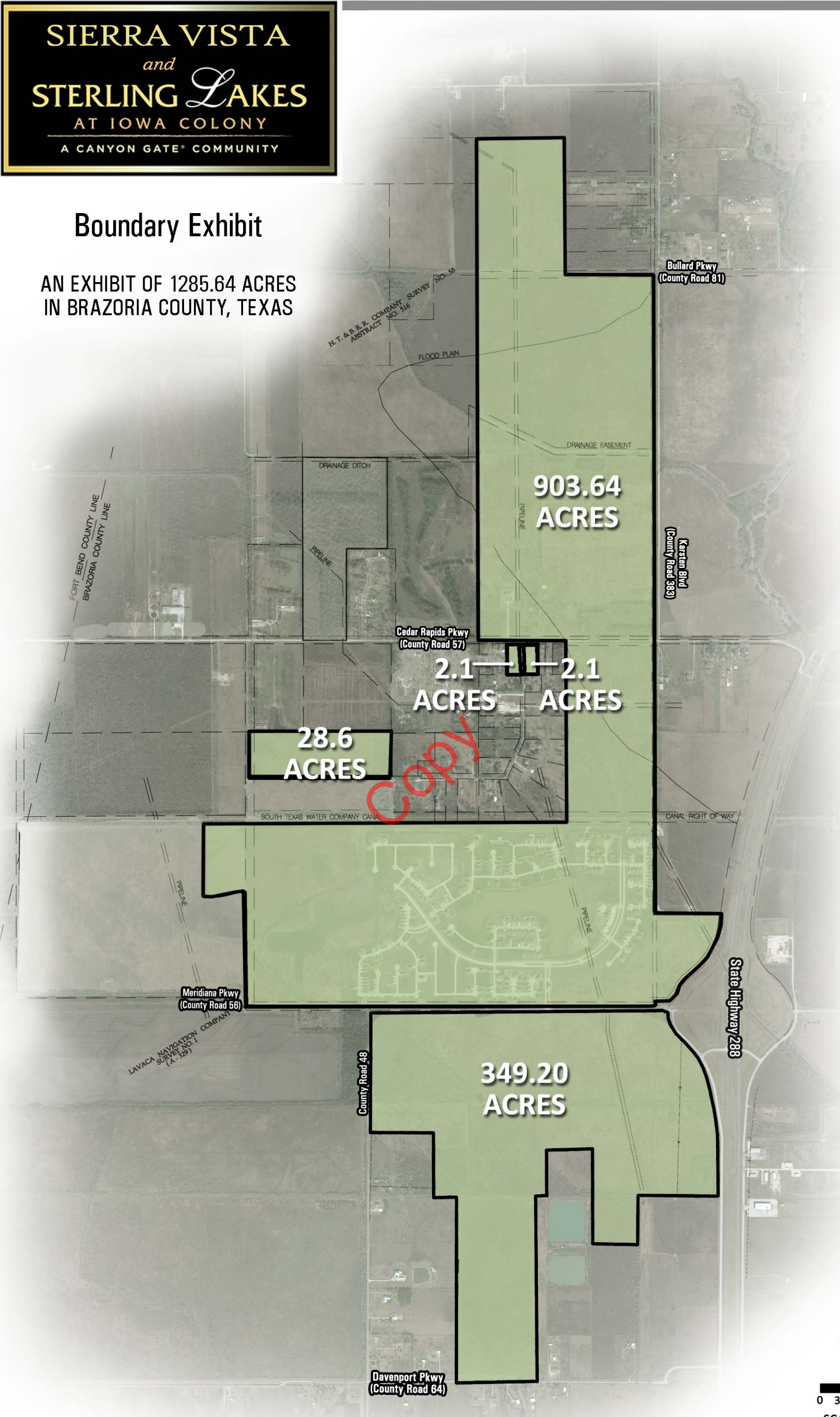


FIGURE 1

SIERRA VISTA

and

STERLING LAKES

AT IOWA COLONY

A CANYON GATE® COMMUNITY

Jurisdiction Map

LEGEND

- IOWA COLONY CITY LIMIT

IOWA COLONY ETJ

ALVIN ETJ

ALVIN CITY LIMIT

ALL JURISDICTIONAL LINES ARE APPROXIMATE AND SUBJECT TO CHANGE

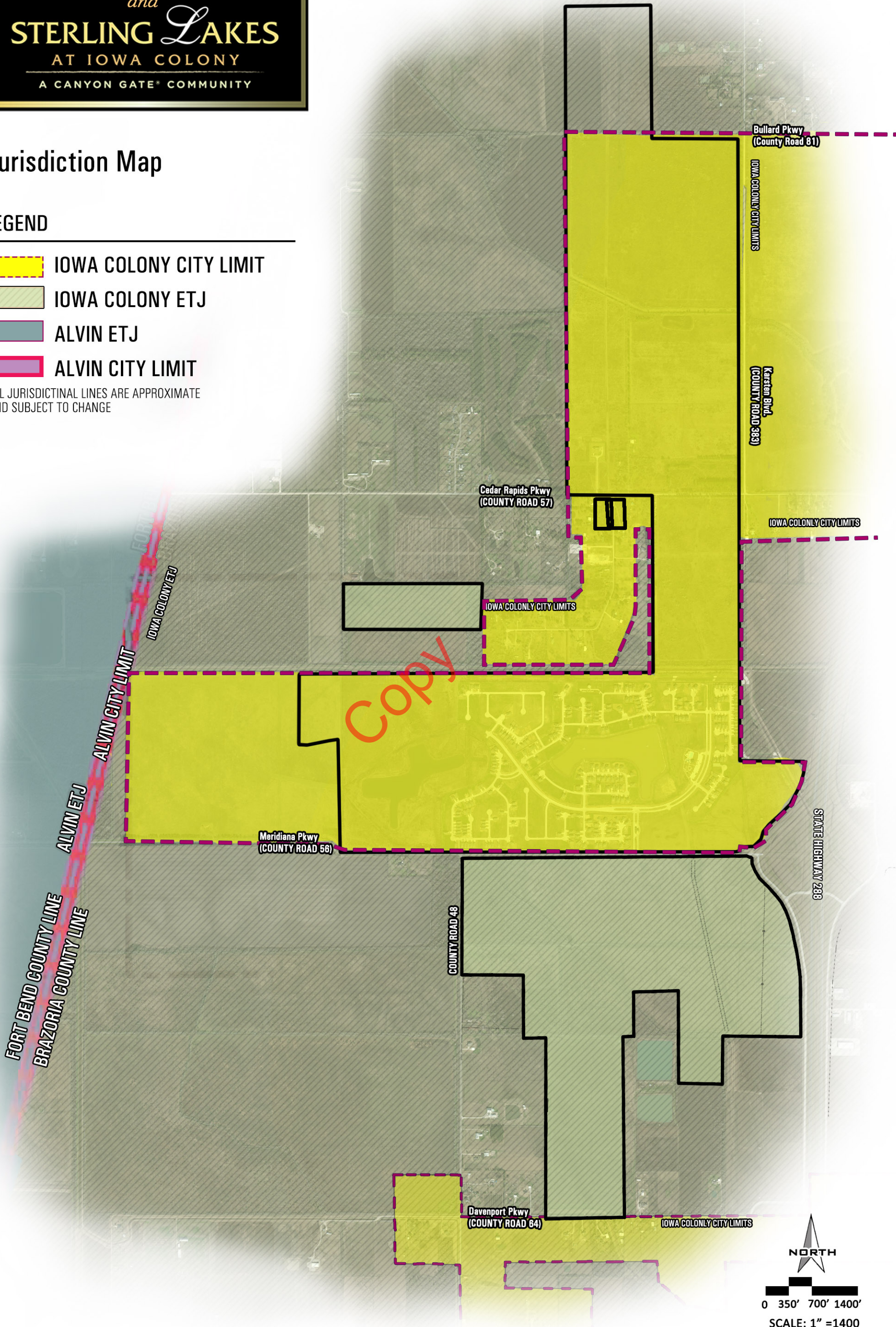


FIGURE 1A

THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL AGENCY. ADDITIONAL STREETS AND/OR DRAINAGE PROVISIONS MAY BE REQUIRED. THIS PLAN IS AN ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. ALL PLANS FOR FACILITIES OR LAND USES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

SIERRA VISTA
and
STERLING LAKES
AT IOWA COLONY
A CANYON GATE® COMMUNITY

General Development Plan

LEGEND

1 AREA TYPE # 1 MINIMUM 45' X 110'				
- THE MAXIMUM PERCENTAGE OF LOTS LESS THAN 60 FEET WIDE SHALL NOT EXCEED 65% OF THE TOTAL MAXIMUM NUMBER OF LOTS (MAXIMUM 2,158).				
- LOTS LESS THAN 50' WIDE SHALL NOT BE PERMITTED SOUTH OF MERIDIANA PARKWAY (CR 56).				
LOT SIZE	(A) 45' X 110'	(B) 50' X 110'	(C) 55' X 110'	(D) TOTAL LOTS < 60' X 110'
TOTAL LOTS PERMITTED	NO MORE THAN 808 LOTS PERMITTED	NO MORE THAN 955 LOTS PERMITTED	A+B+C<1,820	1,820 Lots or 65% of Total Lots
PLATTED/EXISTING	478 LOTS	541 LOTS	253 LOTS	1,272 LOTS
MAXIMUM FUTURE LOTS	NO MORE THAN 330 LOTS PERMITTED	NO MORE THAN 414 LOTS PERMITTED	NO MORE THAN 548 ¹ LOTS PERMITTED	548 Lots or 65% of Total Lots

Note 1: A + B + C ≤ 548

2 AREA TYPE # 2 MINIMUM 60' X 110'		
LOT SIZE	60' X 110'	>60' X 110'
PLATTED/EXISTING	425 LOTS	169 LOTS
TOTAL MINIMUM	See Note 2	Min. 6% of Total Lots

Note 2: 60' wide lots + lots greater than 60' wide is equal or greater than 35% of total lots.

MAX. FUTURE TOWNHOUSE UNITS
19.7 AC.@15 DU/AC. = 295 LOTS

- 3 INDICATES PROPOSED DETENTION
- 4 INDICATES PROPOSED CIVIC
- 5 INDICATES PROPOSED COMMERCIAL
- 6 INDICATES PLATTED LOTS
- 7 INDICATES EXISTING LAKES/DETENTION
- 8 INDICATES PRIVATE STREET
- 9 INDICATES PROPOSED TOWNHOUSE
- 10 * INDICATES PROPOSED GATED ENTRY
- 11 ● INDICATES PROPOSED RECREATION SITE

TOTAL LOTS	
PLATTED/ EXISTING LOTS	1,866 LOTS
PROPOSED MAX. LOTS	934 LOTS
MAX. FUTURE TH LOTS	295 LOTS
TOTAL MAX LOTS	3,095 LOTS

FIGURE 2

SIERRA VISTA
and
STERLING LAKES
AT IOWA COLONY
A CANYON GATE® COMMUNITY

Contributing Landscape and Open Space Plan

LEGEND

REQUIRED OPEN SPACE

ACREAGE	TOTAL %
65 ACRES	5%

OPEN SPACE INCLUDES LANDSCAPE BUFFERS, DETENTION AREAS, GREEN BELTS AND RECREATION SITES.
(CONTRIBUTING RECREATION SITES SHALL BE ACCESSIBLE FROM A PUBLIC STREET.)

- INDICATES PRIVATE NON-CONTRIBUTING RECREATION SITES
- INDICATES PROPOSED RECREATION SITE MINIMUM 1/4 AC. (SEE NOTE)
- 1/4 MILE RADIUS SERVICE AREA
- PROPOSED PUBLIC PARK NOT INCLUDED IN LANDSCAPE/OPEN SPACE AREA CALCULATIONS
- INDICATES 15' MINIMUM GREENBELT/ LANDSCAPE BUFFER WITH SIDEWALK
NOTE: 6' MINIMUM SIDEWALK REQUIRED ON ONE SIDE OF THE SPINE ROAD
- INDICATES MINIMUM 5' WIDE PUBLIC STREET SIDEWALK
 - LANDSCAPE BUFFERS TO COUNT AS REQUIRED OPEN SPACE SUBJECT TO:
MINIMUM 15' WIDE AND CONTAINING REQUIRED 1½" CALIPER TREES
 - DETENTION LAKE TO COUNT AS REQUIRED OPEN SPACE SUBJECT TO:
5:1 MAXIMUM SIDE SLOPE, PERMANENT WATER SURFACE AND MINIMUM 6' WATER DEPTH

Note:
Recreation sites shall provide a variety of recreational uses- passive and active. At minimum, a recreation site shall include a paved plaza area. The plaza area shall be a minimum of 500 sq.ft. and shall include a decorative paving pattern.

Each site shall include at least 2 benches, 2 shade trees, a drinking fountain and bicycleparking. Bicycle parking shall include racks or other structures intendedfor parking bicycles, with a minimum of 4 spaces.

At least 2 parks shall include ball field facilities for informal play, including baseball back stops and soccer goals. At least 1 park shall include a fenced area with double gates for use as a dog park.



FIGURE 3

SIERRA VISTA
and
STERLING LAKES
AT IOWA COLONY
A CANYON GATE® COMMUNITY

Thoroughfare Exhibit

LEGEND

- MAJOR ARTERIAL (TO BE WIDENED)

(120' R.O.W. MIN. - 45 M.P.H. DESIGN SPEED)

MAJOR ARTERIAL (PROPOSED)

(120' R.O.W. MIN. - 45 M.P.H. DESIGN SPEED)

MINOR ARTERIAL (PROPOSED)

(120' R.O.W. MIN. - 40 M.P.H. DESIGN SPEED)

MAJOR COLLECTOR

(80' R.O.W. MIN. - 35 M.P.H. DESIGN SPEED)

MAJOR COLLECTOR (PROPOSED)

(80' R.O.W. MIN. - 35 M.P.H. DESIGN SPEED)

MINOR COLLECTOR (PROPOSED)

(80' R.O.W. MIN. - 30 M.P.H. DESIGN SPEED)

SUPER ARTERIAL (PUBLIC)

(S.H. 288, R.O.W. VARIES)
- SPINE ROAD (PRIVATE)

(80' R.O.W. MIN.)

SPINE ROAD (PUBLIC)

(80' R.O.W. MIN.)

SPINE ROAD (PROPOSED)

(80' R.O.W. MIN.)

LOCAL STREET (PUBLIC)

(60' R.O.W. MIN.)

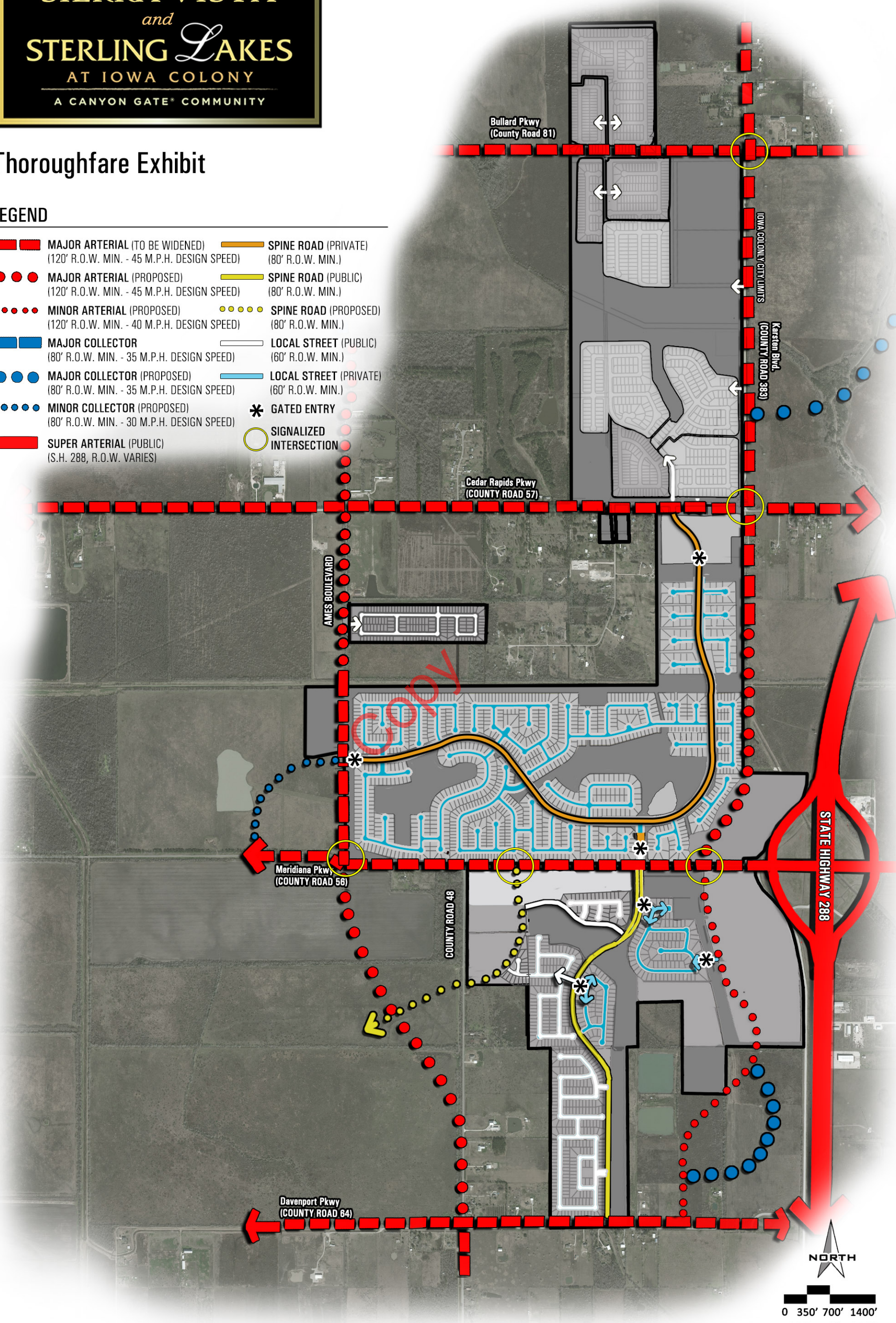
LOCAL STREET (PRIVATE)

(60' R.O.W. MIN.)

*

GATED ENTRY

SIGNALIZED INTERSECTION



NORTH

0 350' 700' 1400'
SCALE: 1" = 1400'
DATE: 03.2021

FIGURE 4

THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL AGENCY. ADDITIONAL STREETS AND/OR DRAINAGE PROVISIONS MAY BE REQUIRED. THIS PLAN IS AN ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. ALL PLANS FOR FACILITIES OR LAND USES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

SPINE ROAD (DIVIDED) PROPOSED STREET CROSS SECTION

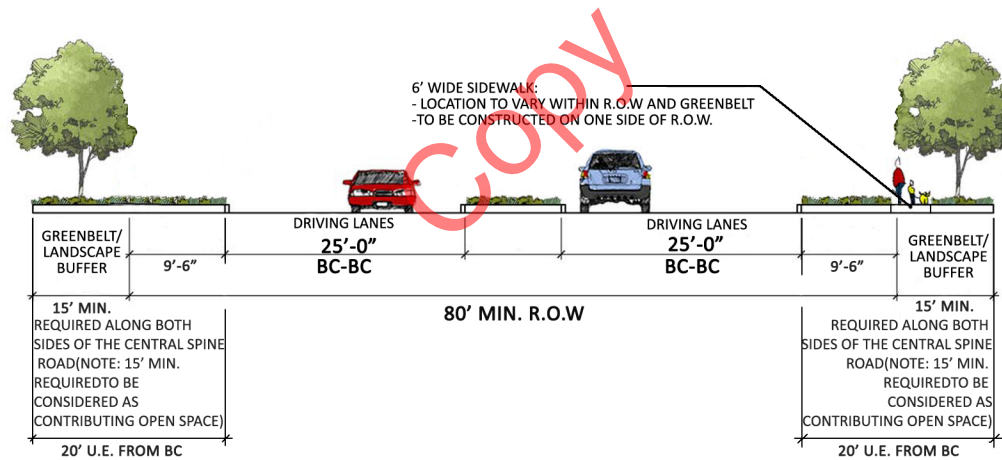


FIGURE 5

0' 5' 10' 15' 20'

SCALE 1" = 20'
DATE: 05.01.2018

SPINE ROAD (UNDIVIDED) PROPOSED STREET CROSS SECTION

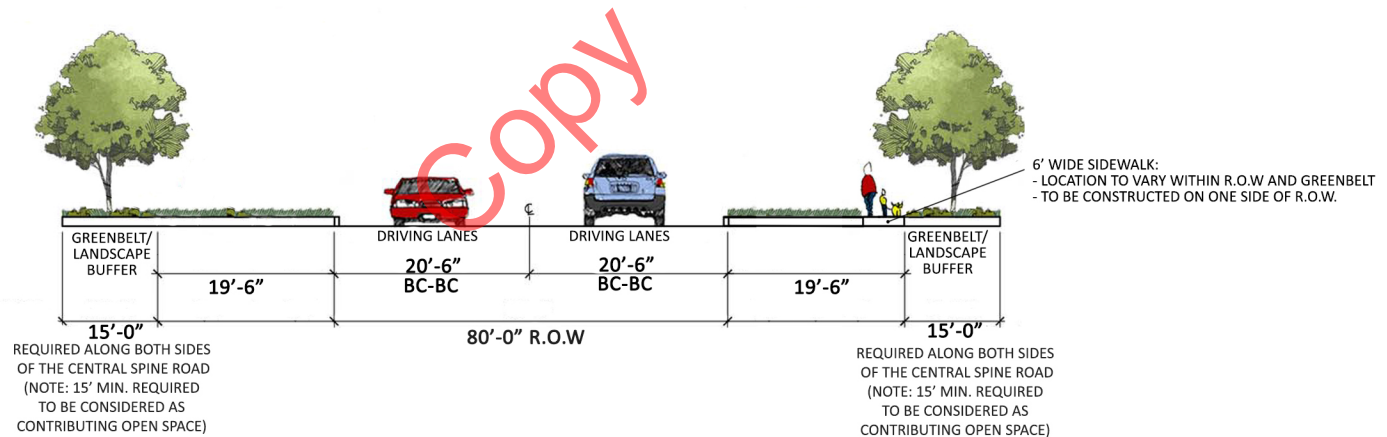


FIGURE 6

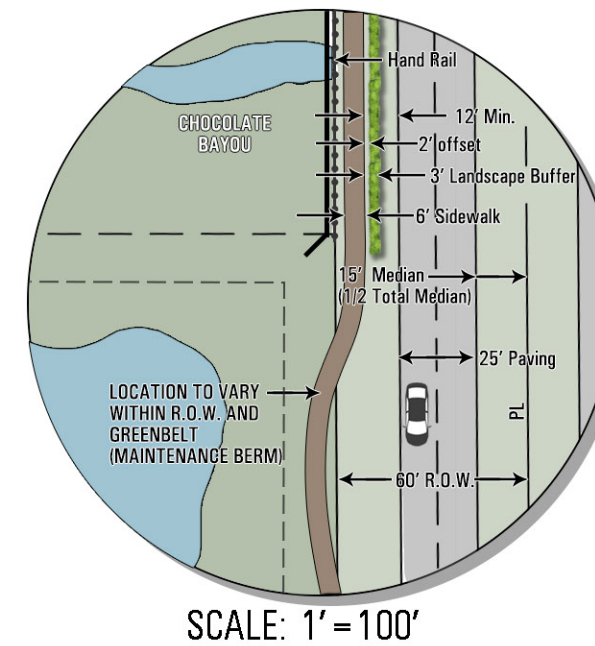
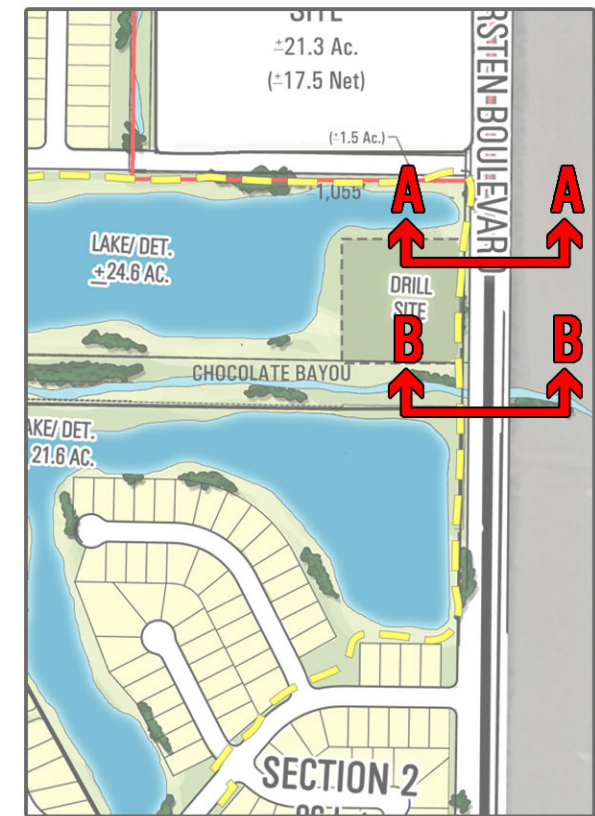
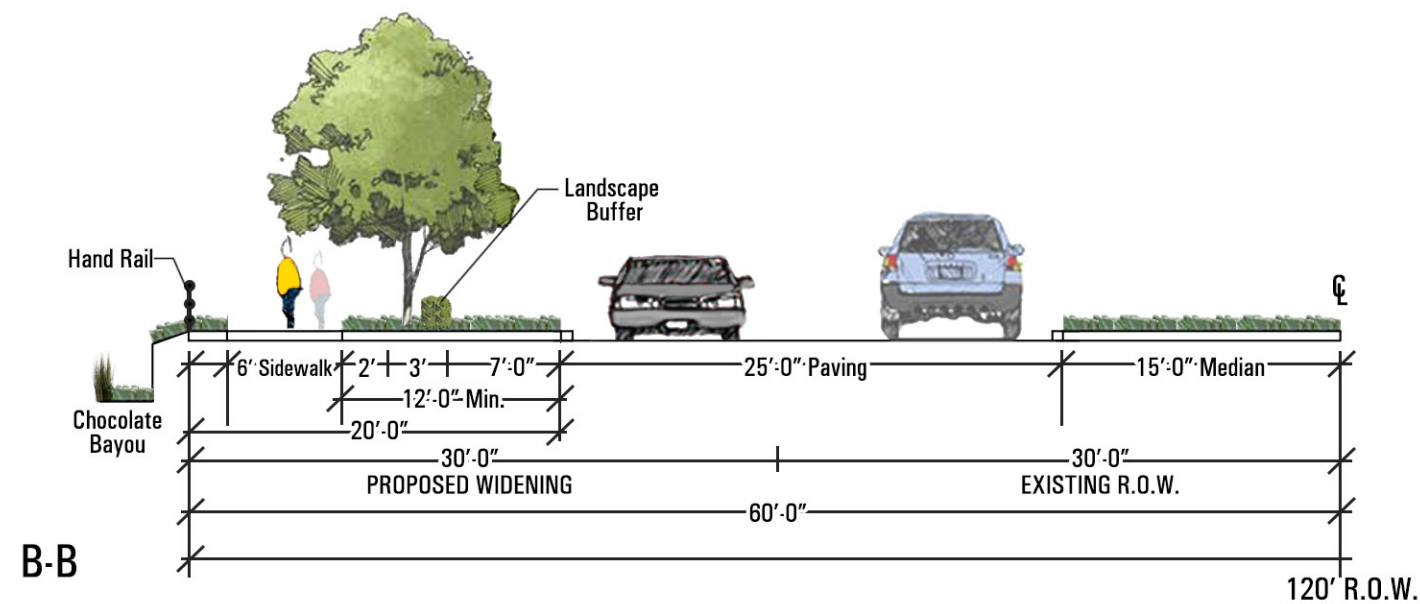
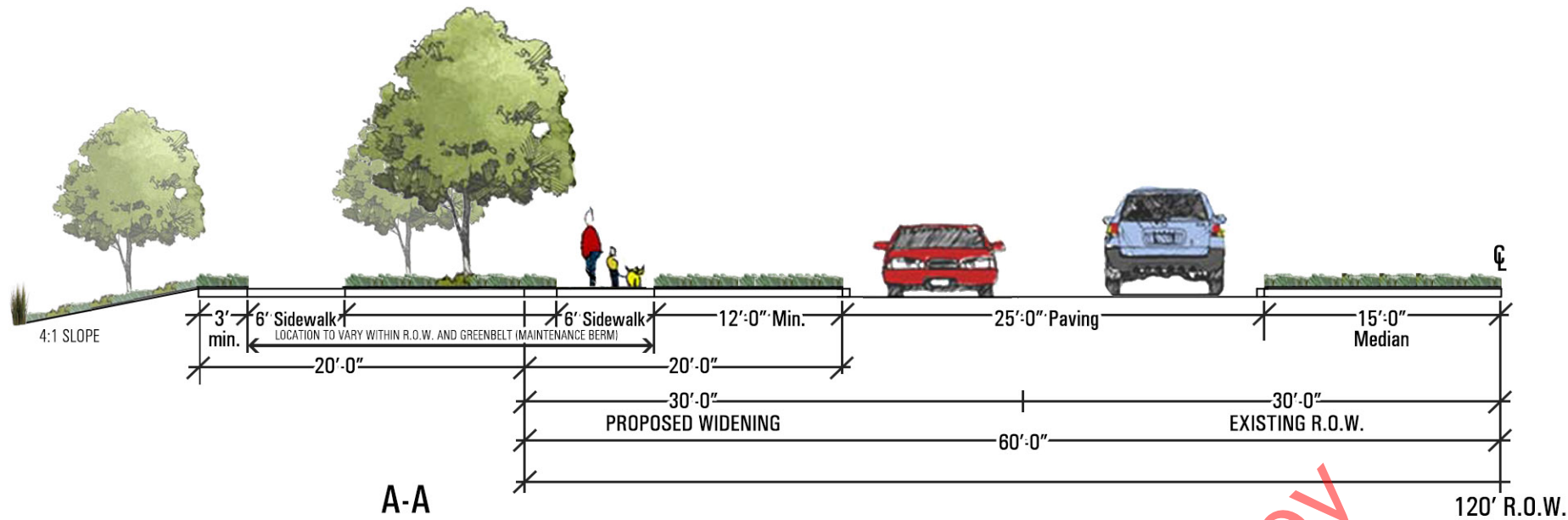
0' 5' 10' 15' 20'

SCALE 1" = 20'
DATE: 05.01.2018

Sierra Vista West

Pedestrian Cross-Section and Detail

FIGURE 7



Sterling Lakes North



FIGURE 8

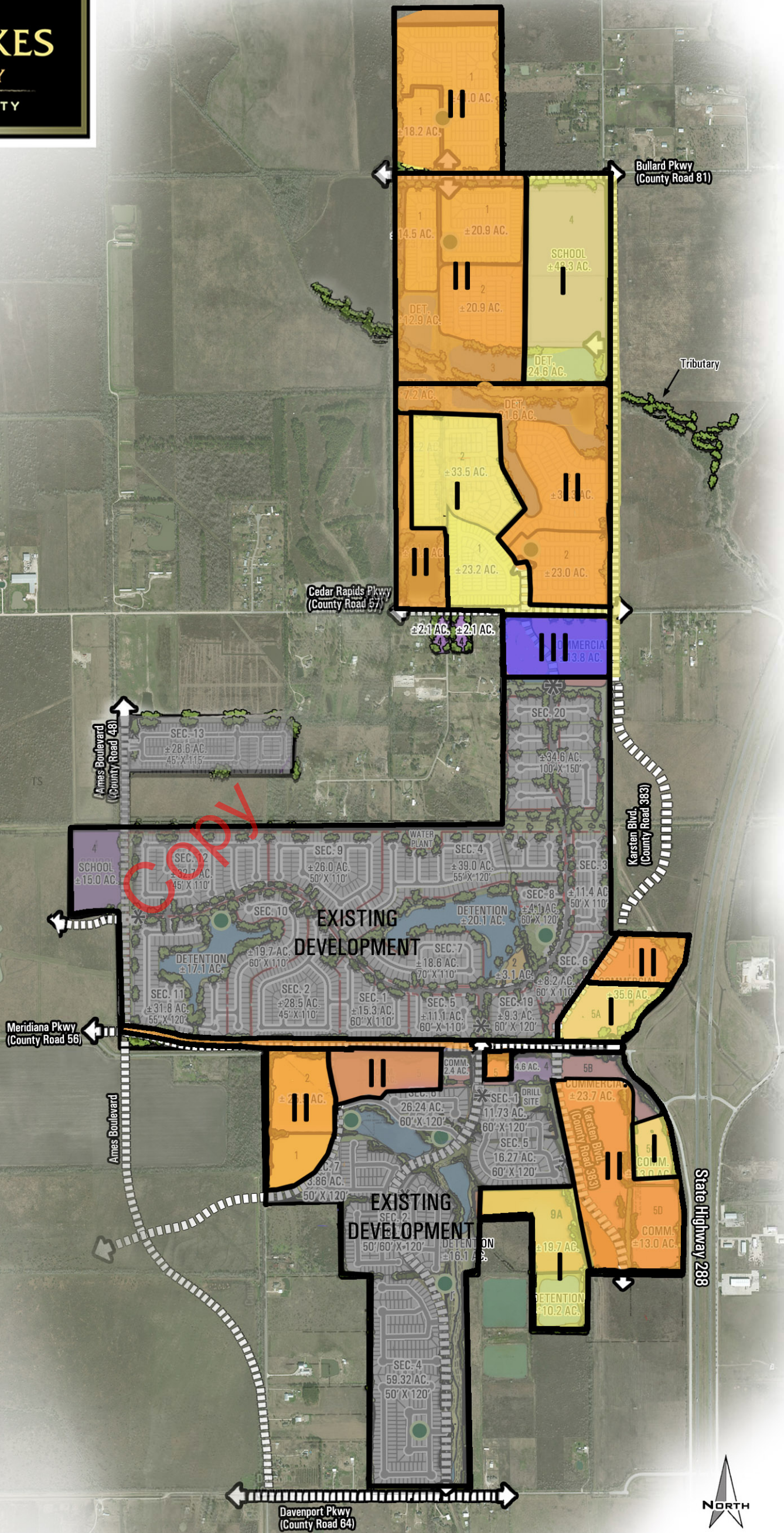
THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL AGENCY. ADDITIONAL STREETS AND/OR DRAINAGE PROVISIONS MAY BE REQUIRED. THIS PLAN IS AN ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. ALL PLANS FOR FACILITIES OR LAND USES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

SIERRA VISTA and STERLING LAKES AT IOWA COLONY

A CANYON GATE® COMMUNITY

Phasing Plan

- PHASE I (1-2 Years)
- PHASE II (3-5 Years)
- PHASE III (6-10 Years)





 0 350' 700' 1400'
 SCALE: 1" = 1400'
 03.2021

FIGURE 9

THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL AGENCY. ADDITIONAL STREETS AND/OR DRAINAGE PROVISIONS MAY BE REQUIRED. THIS PLAN IS AN ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. ALL PLANS FOR FACILITIES OR LAND USES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

EXHIBIT B
PLAN of DEVELOPMENT
Sterling Lakes at Iowa Colony
And
Sierra Vista

A. Introduction.

1. The property is comprised of 1,285.64 acres, consisting of residential and commercial uses with community facilities such as parks, lakes, trails, open space and other general public facilities.
2. This PD includes the following sections:
 - General Provisions
 - Land Uses
 - Development Regulations for Single Family Lots
 - Development Regulations for Commercial Tract
 - Parks, Recreation and Trails
 - School and Community Facility Sites
 - Street Plan & Cross-Sections
 - Project Phasing
 - Specific Conditions

B. General Provisions.

1. The PD approved herein must be constructed, developed, and maintained in compliance with this Agreement and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in District MU (Mixed Use District) is not contained in this Agreement, all the regulations contained in the Development Code applicable to District MU in effect on the effective date of this Agreement apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this Agreement.
In the event that there are discrepancies between the text of this document and the exhibits attached, the text shall prevail.
2. The project shall be developed in accordance with the following figures that are attached to and made part of this PD:

Figure 1:	<i>Boundary Exhibit</i>
Figure 1a:	<i>Jurisdiction Map</i>
Figure 2:	<i>General Development Plan</i>
Figure 3:	<i>Landscape and Open Space Plan</i>
Figure 4:	<i>Thoroughfare Exhibit</i>
Figure 5:	<i>Street cross section for Spine Road, (divided)</i>
Figure 6:	<i>Street cross section for Spine Road, (undivided)</i>
Figure 7:	<i>Pedestrian cross section and detail.</i>

Figure 8: *Sterling Lakes North General Plan.*
 Figure 9: *Phasing Plan of Development.*

The project is located west of State Highway 288, between County Roads 573, Alloy Road and 64, Davenport Parkway. The property is within the William Pettus Survey, H.T. & B.R.R. Company Survey No. 68, 288, and 289, Brazoria County, Texas. As shown on [Figure 1a: Jurisdiction Map](#), parts of the proposed development lie within the City Limit, extra-territorial jurisdiction of the City of Iowa Colony.

3. A homeowners' association shall be established and made legally responsible to maintain all common areas, private streets, recreation reserves and community amenities not otherwise dedicated to the public. All land and facilities dedicated to a Municipal Utility District shall be maintained by said District.
4. All future building permits shall be reviewed for conformance with this PD.
5. Access to Valley Glen Road (SH 288 frontage road) shall be limited to one public street or private non-exclusive driveway. The spacing of the intersection to Valley Glen Road shall be a minimum 1,200 feet apart and shall connect to another public street or an internal driveway network to provide mutual use, non-exclusive access to multiple users.

An additional driveway connection to Valley Glen Road may be permitted no closer than 600 feet apart with the approval of the Planning Commission upon review of a Traffic Impact Analysis, TIA, prepared specifically for the commercial use(s) proposed fronting on Valley Glen Road. The TIA shall:

- Clearly show and distinguish between all existing, proposed and future facilities on the site
- Clearly delineate and distinguish between all existing and proposed traffic improvements, including turn lanes
- Show all applicable traffic counts at all existing and proposed intersections and driveways
- Provide comparative analysis of ingress, egress and trip distribution pre and post development with and without the proposed driveway intersections on Valley Glen Road.

C. Land Uses.

1. Permitted land uses for tracts identified as Single Family Residential (SFR) on [Figure 2](#) shall be those uses permitted within District SFR of the Zoning Ordinance.
2. Permitted land uses for the Commercial tract on [Figure 2](#) shall be those uses permitted within District MU of the Zoning Ordinance. Any other commercial or non-residential use may be allowed, but only if the city council exercises its discretion to grant appropriate approval for said use.
3. Permitted land uses for the tracts identified as "[SwingTownhouse](#)" on [Figure 2](#) shall ~~be either of those uses permitted in District SFR or District MU of the Zoning Ordinance, including multi-family and townhouse residential following requirements:~~
 - a) ~~Multi-Family Residential: Subject to City Council approval at the time multi-family is proposed for development.~~
 1. ~~Multi-Family use is limited to two separate projects with each project containing no more than 300 units.~~

- ~~2. No building or structure shall exceed 3 stories or 45 feet.~~
- ~~3. There shall be no more than 22 units per net platted acre. Except that if all required parking is provided within a parking garage that is screened from view of any public street, there shall be no limit on density as long as the total number of units do not exceed 300 units.~~
- ~~4. At least 50% of all required parking shall be covered parking.~~
- ~~5. All surface parking lots shall be screened from view of any adjacent public streets with a minimum 3-foot berm or landscape hedge.~~
- ~~6. A minimum 6% of the gross area of the site shall be required as landscaping.~~

~~b) Townhouse Residential~~

1. Townhouse Residential is limited to no more than 15 units to the acre
 2. No building or structure shall exceed 35 feet.
 3. Front Yard: minimum 20 feet
 4. Rear Yard: minimum 10 feet, with a minimum 25 foot rear yard if the lot is backing to a street that is a major thoroughfare
 5. Side Yard: there shall be no less than a ten-foot side yard on the street side of a corner lot, with a minimum 25 foot side yard if the side street is a major thoroughfare.
 6. The minimum lot width shall be 25 feet.
 7. The minimum lot area shall be 2,250 square feet.
 8. A minimum 6% of the gross area of the site shall be required as open space / landscaping. Off-street parking area, service drives, shall not be included in any calculation of the required open space.
 9. Guest parking shall be provided on the site at a minimum 1 space per every 6 units.
4. Within the boundary of the proposed Plan of Development, a minimum 5% of the total project acreage (65 acres) will be required for Parks/Recreation/Open Space. In addition, approximately 20 acres of land located outside the boundary of the Plan of Development shall be dedicated to the City as public park area. Land used for public park area shall have a minimum frontage of 60 feet on a public street. Portions of open space that do not have any additional man-made improvements provided by the developer, such as hiking/running trail, benches or shelters that facilitate an active human recreational role will not be considered contributing to the minimum public park area requirement. Contributing open space areas must be adjacent to and/or have frontage on public street right-of-way. Landscape buffers adjacent to public street right-of-way must be at least fifteen (15) feet wide and contain an average density of (1) tree, a minimum caliper of one and one-half inch (1-1/2") for every thirty (30') feet of street frontage, or portion thereof, measured along the street-facing lot line in order to count to contributing open space. The trees may be clustered or spaced linearly; they need not be placed evenly.
5. Should the surface rights of any designated drill sites revert to the private land owner, and that land owner desires to sell that land, the City will have the first right-of-refusal to purchase the land formerly designated as drill site land at fair market value.

D. Development Regulations for Single Family Lots – Maximum 2,800 lots permitted. Lots less than 60 feet wide = maximum 65% of 2,800 lots or a maximum 1,820 lots. (Maximum 808 lots at 45 feet wide, maximum 955 lots at 50 feet wide) Lots 60 feet wide or greater = minimum of 35% of total lots and a minimum 6% of the total lots shall be greater than 60 feet wide. Single-family home sites within the PD shall be developed in accordance with the following regulations:

1. Within the areas indicated as Area Type #1 on [Figure 2](#);

The minimum lot width shall be 45 feet wide. Except: the maximum percentage of lots less than 60 feet wide shall not exceed 65 percent of the total maximum number of lots.
(Maximum 1,820 lots)

No more than 808 lots shall be 45 feet wide.
No more than 955 lots shall be 50 feet wide.

2. No lots less than 50 feet wide shall be permitted south of County Road 56, Meridiana Parkway.
3. Within the areas indicated as Area Type #2 on Figure 2, the minimum lot width shall be 60 feet wide. A minimum 35 percent of the total maximum number of lots shall be 60 feet wide or greater and at least 6.0% must be greater than 60 feet wide.
4. Minimum lot depth: 110 feet or 90 feet for lots fronting on the bulb portion of a cul-de-sac.
5. Maximum lot coverage: Sixty (60%) percent calculated as the ground covered by building structures, principal or accessory, of the gross lot surface area.
6. Maximum height: Two (2) stories. Roof gables, chimneys, and vent stacks may extend to a height not to exceed 35 feet above the average level of the base of the foundation of the building. Height regulations prescribed herein shall not apply to satellite earth station antennas or any personal communication electronic facilities protected by the Federal Telecommunications Act of 1996.
7. Minimum front yard building setback: 25 feet; 20 feet on cul-de-sac bulbs as measured from the front property / right-of-way line.
8. Minimum side yard building setbacks: 5 feet for interior, non-corner lots and the non-street side of corner lots; 10 feet exterior side yard for corner lots if a minimum fifteen (15) feet by fifteen (15) feet visibility triangle, as measured from the property line / street right-of-way line, that restricts the placement or maintenance of any vertical obstruction, either natural or man-made, within a vertical distance of between three (3) feet and eight (8) feet of the natural ground elevation, is provided on the platted lot subdivision at any street, public or private, intersection. A street side setback of twenty-five (25) feet minimum will be required for all lots siding on a designated major arterial, minor arterial or major collector.
9. Minimum rear yard building setback: 10 feet, except when the rear utility easement width is greater than ten (10) feet, the greater width is the minimum rear yard building setback. When a lot or a reserve is either directly adjacent to a major or minor arterial right-of-way or directly adjacent to a reserve less than fifteen (15) feet wide that is adjacent to a major or minor arterial, the minimum rear yard building setback is twenty-five (25) feet measured from the street right-of-way line and a minimum of ten (10) feet from the rear property line. When a residential lot backs to a designated major or minor arterial and a detached one-story garage is constructed on the residential lot, the rear yard between the detached one-story garage and the rear property line may be reduced to a minimum of three (3) feet if a minimum of twenty-five (25) feet is maintained between the rear of the one-story detached garage and the right-of-way line of the major or minor arterial.
10. All lots shall have a minimum of two (2) trees, planted in the front yard setback. The trees must be a minimum of one and one-half (1-1/2) inches in caliper width and a minimum height of six (6) feet as measured at the tree trunk from the ground as planted. The trees must be located between five (5) feet and fifteen (15) feet from a side lot line and between five (5) feet and twenty (20) feet from the front property line with a minimum of ten (10) feet between tree trunks.

E. Development Regulations for Commercial Tract – Area regulations, yard requirements, and maximum lot coverage, height, and floor area per District MU in the Zoning Ordinance shall apply to the Commercial tract within the PD. At the time of the preliminary plat of any commercial land, a draft of the protective covenants whereby the Developer proposes to regulate the use of the land shall be submitted to the City. The restrictive covenants, conditions or limitations shall never be less than the minimum requirements of the City as specified in the City’s applicable ordinance(s).

F. Parks, Recreation and Trails – As shown on [Figure 3](#), an integrated network of open space and recreational amenities shall be provided in accordance with the following regulations:

1. A landscape buffer with a minimum 15-foot width shall be located along each side of the central spine road, as shown on [Figure 3](#), where lots side or rear to the spine road. The buffer is in addition to the minimum street right-of-way width and shall include trees, benches, plazas and landscape screening. No on-street parking will be allowed along the designated spine road.
2. Recreational sites will be strategically located along the central spine road, and shall include the following:
 - (a) A recreational site north of Meridiana Parkway (County Road 56) near the main project entry shall include water recreation i.e., “splash pad”, and a swimming pool with dressing rooms, playground and picnic facilities.
 - (b) A recreational site south of Meridiana Parkway (County Road 56) near the main project entry.
 - (c) A recreational site north of Cedar Rapids Parkway (County Road 57) shall include a swimming pool and splash pad, with dressing rooms, playground and picnic facilities.
 - (d) Additional Recreation Sites, strategically located near the entries of various neighborhood pods, as shown on [Figure 2](#). A contributing park, recreation and/or open space area must be located a maximum of one-quarter (1/4) mile from all residential lots.
 - (e) A contributing park / recreation / open space area of a minimum area of one-quarter (1/4) acre must be contained within each private gated section.
 - (f) In addition to the three recreation sites identified above, six additional recreation sites shall be provided with the following minimum improvements.
 - Recreation sites shall provide a variety of recreation uses both passive and active. At a minimum, a recreation site shall include a paved plaza area a minimum of 500 square feet and shall include a decorative paving pattern.
 - Each site shall include at least 2 benches, 2 shade trees, a drinking fountain and bicycle parking. Bicycle parking shall include racks or other structures intended for parking bicycles, with a minimum of 4 spaces.
 - At least 2 parks shall include ball field facilities for informal play, including baseball back stops and soccer goals.
 - At least 1 park shall include a fenced area with double gates for use as a dog park.
3. On-site storm water detention designed as permanent lakes will be provided within the project, providing additional open space with recreational amenities. A large lake will be located near the project entry.
Contributing open space areas shall include the area of the permanent water surface and the adjacent side slopes, at a maximum slope of 5:1, for the permanent lake with a minimum water depth of six (6) feet beyond the slope transition. On-site storm water detention area that

do not contain a permanent lake area or do not contain permanent man-made improvements, such as hike/bike trails with benches/structures, and that are not accessible with a minimum of one access point directly from a street (public or private) will not be included in the calculation for the minimum amount of required parks / recreation / open space.

- (a) A minimum of two (2) view corridors per lake with an unobstructed view from the adjacent streets with a minimum combined width of 60 feet, per lake, shall be provided to each permanent lake. The minimum width of a single view corridor is 20 feet. Views to the permanent lakes from the view corridors shall not be obstructed by fences, structures, screening or landscaping that would prevent seeing the lake area.
 - (b) View corridors shall be separated by a minimum of one thousand (1,000) feet as measured along the lake water edge. Unless the lake is less than one thousand (1,000) feet in length in which case the view corridors shall be separated by at least 4/5 the total length of the lake.
 - (c) A concrete pedestrian path a minimum of five (5) feet in width shall connect the required street sidewalk with the lake water edge.
4. Minimum 4-foot width sidewalks shall be provided along both sides of local residential streets. All sidewalks shall be constructed in accordance with the City of Iowa Colony standard details and shall meet the State of Texas ADA standards.
 5. Minimum 5-foot width sidewalks shall be provided along both sides of major arterials, minor arterials, major collectors and the central spine road (as depicted in Figure 4 attached) within and adjacent to the property. At the discretion of the developer, a six-foot wide sidewalk may be constructed on only one side of the right-of-way in lieu of two 5 foot wide sidewalks on both sides of the right-of-way. In either case, the sidewalks may meander out of the right-of-way and into an adjacent landscape reserve if so provided.

G. School and Community Facility Sites

1. As shown on [Figure 2](#), an approximate forty-eight acre elementary and junior high school site shall be provided for purchase at the option of the Alvin Independent School District. If the AISD chooses not to purchase the site, the site is limited to the same uses as for tracts identified as Single Family Residential (SFR) on [Figure 2](#).
2. At no cost to the City of Iowa Colony, a 4.66 acre site located south of CR 56, and west of CR 383 shall be provided to the City, for the purpose of an EMS / Fire Station Site. As the land adjacent to the 4.66 acres provided to the City become available for development, the land shall be offered to the City of Iowa Colony as a first right-of-refusal at fair market value.

H. Street Plan and Cross Sections.

1. Street improvements shall be built in phases as the project develops in accordance with the City's Engineering Design Criteria Manual, Developers Agreement, street plan and cross sections listed below.
 - [Figure 4:](#) *Thoroughfare Exhibit*
 - [Figure 5:](#) *Street cross section for the spine road (divided) and greenbelt*
 - [Figure 6:](#) *Street cross section for the spine road (undivided) and greenbelt*

I. Project Phasing – Figure 7 indicates the general time and location of the proposed development phasing. The precise dates of each phase is subject to change due to general economic variables and market demand.

J. Specific Conditions – Implementation of this master-planned community will require consideration of site conditions that necessitate granting the following variances from specific sections of the Subdivision Ordinance and Engineering Design Criteria Manual:

1. Section 36 (D): *No block shall exceed a length of one thousand two hundred (1,200) feet in residential or commercial developments.*

All streets within the gated areas shall be private and access will be limited to local residential traffic only. Entry points will be limited for security purposes. Consequently, streets will not be stubbed to adjacent acreage, resulting in external block lengths greater than 1,200 feet. Some internal blocks will exceed 1,200 feet, to a maximum distance of 2,600 feet, to accommodate detention lakes and reserves. This variance does not apply to areas of the development that do not include private residential streets.

2. Section 37 (B)(5): *Access to Public Streets. The subdividing of land shall be such as to provide each lot with satisfactory access to a public street.*

All the streets in the gated portions of the community will be private with access limited to local traffic only. Gated private street neighborhoods will connect to public streets. All gated sections containing more than 35 lots shall have at least two connections to a public street. If a future second point of access is not yet constructed a temporary connection shall be provided until the permanent connection is constructed. All private streets will be constructed to the City's public street standards. A homeowners' association will assume all responsibility to repair and maintain the private streets. As such, the adherence to this requirement for the private street portions of the development will not be required.

August 16, 2021

LETTER OF RECOMMENDATION

Re: Sterling Lakes at Iowa Colony/Sierra Vista Plan of Development Amendment Number 3

The City of Iowa Colony staff have received a proposed amendment to the current approved Plan of Development for Sterling Lakes at Iowa Colony/Sierra Vista on July 7, 2021. Documents attached to this LOR include: General Development Plan 11-20-2015; General Development Plan dated 05-01-2018, revised 01-04-2021; Compare Result 1.pdf; Cover Letter Revised.pdf; and Figure 2_General Plan -markup.pdf.

BACKGROUND

The General Development Plan that first includes both Sterling Lakes and Sierra Vista is dated 11-20-2015 (the 2015 Plan). Figure 2 General Development Plan dated 05-01-2018 (Amendment Number 1), (the 2018 Plan) indicates the approved Plan of Development for the Sterling Lakes/Sierra Vista development prior to the latest round of proposed amendments with the exception of the tract along the south side of Meridiana Parkway and the east side of Sierra Vista Boulevard that was originally approved as single family residential. The 2018 Plan indicated that tract as commercial in color but as number "2" as residential land use. This discrepancy has held approval of a development plat for this tract (the Day Care Center) due to the conflict of land use approval. The 2018 Plan Amendment Number 1 was approved only to modify the alignment of Karsten Boulevard and related adjacent tract land use. The proposed Amendment Number 3 has been submitted correct this issue (shown as 2.9 acre, commercial, number "5"), among other proposed modifications, and clarify the intent for this tract to be commercial, not single family residential. Amendment Number 2, the latest amendment, as recently approved by City Council, only modifies the Sterling Lakes North area of the overall development north of Cedar Rapids Parkway. Amendment Number 3 has now been proposed as partially indicated in Figure 2_General Plan -markup. Additionally, the proposed Amendment Number 3 General Plan indicates a change in land use for the area south of Meridiana Parkway and west of Crystal View Drive, a change in land use for the area south of Meridiana Parkway and east of Crystal View Drive including a 2.4 acre commercial tract correctly shown on the 2015 Plan and the 2018 Plan and now proposed to be a part of the indicated 4.1 acre commercial tract on the west side of Sierra Vista Boulevard. Discussion with Stan Winter, the planning consultant for Land Tejas indicates the applicant wishes to remove from consideration the indicated change of land use for a tract labeled 9A west of Karsten Boulevard at the southeast corner of the Sierra Vista development and to remove from consideration the proposed change in the language of the Plan of Development document regarding a Townhouse land use applicable to tract 9A.

REVIEW

Staff review will discuss each of the 3 proposed plan changes individually.

Proposed Change (1) – the area south of Meridiana Parkway and east of Sierra Vista Boulevard

This 2.9-acre tract is located on the southeast corner of the intersection of Meridiana Parkway, a designated major arterial, and Sierra Vista Boulevard, a collector street. A development plat has been submitted and has been deferred until the land use indicated on the Plan of Development agrees with the development plan. Alternative access has been proposed with a connection to the south to facilitate site circulation. This proposed commercial use located at the intersection of a major arterial and a collector is in compliance with the City of Iowa Colony Comprehensive Plan.

Proposed Change (2) – the area south of Meridiana Parkway and west of Crystal View Drive

This area in the 2018 Plan is indicated as single family residential (25.5 acres) of both 50 feet wide lots and 60 feet wide lots. The current proposal is to reduce the area of 50 feet wide lots and replace most of the 50 feet wide lot area with an 11.8-acre commercial tract leaving a 13.7 acre remaining single family residential area (composed of lots at a minimum width of 50 feet). The applicant has indicated the purpose for indicating a portion of this area as commercial is to provide a land use that is compatible with an existing manufactured building to be used as a temporary sales office (no overnight sleeping or residential use) that is currently non-compliant with the approved land use of single family residential. However, the City Engineer indicates that the current existing manufactured building is located on the west side of Crystal View Drive at a location south of the proposed south line for proposed commercial. That location would place the existing manufactured building outside the proposed commercial use area. This location for proposed commercial use is located at the intersection of a major arterial and a collector and is in compliance with the City of Iowa Colony Comprehensive Plan. Also, with the anticipated traffic demand on Crystal View Drive as the only access connection to Meridiana Parkway (access via Ames Boulevard will come later), the use of this tract for commercial use is appropriate. The applicant has submitted a revised general plan indicating the expanded commercial area that will include the existing manufactured building to be used as a temporary sales office (see additional attachment)

Proposed Change (3) – the area south of Meridiana Parkway and between Crystal View Drive and Sierra Vista Boulevard

This area indicated on the proposed Amendment Number 3 Plan includes a 4.1-acre tract and a 9.4-acre tract for a total commercial area of 13.5 acres between Sierra Vista Boulevard and Crystal View Drive with frontage on Meridiana Parkway. The 4.1-acre tract includes a previously approved 2.9-acre commercial tract. Both Sierra Vista Boulevard and Crystal View

Drive are considered collector streets providing significant traffic access between major arterials Meridiana Parkway, Ames Boulevard, and Davenport Parkway with approximately 600 feet between Crystal View Drive and Sierra Vista Boulevard along Meridiana Parkway, a designated major arterial. The provision of commercial corners at the intersection of major arterials and collectors is in conformance with the City of Iowa Colony Comprehensive Plan. Providing contiguous commercial property along a major arterial allows for the provision of alternative connected driveway locations parallel to the major arterial as direct access to a major arterial by cross median openings is limited to minimum spacing requirements.

RECOMMENDATION

Based on the information presented, Staff recommends the following:

For Proposed Change (1) – that the proposed commercial use for this tract at this location be approved by the City of Iowa Colony City Council;

For Proposed Change (2) – that the proposed commercial use for a portion of this tract, with the remaining portion of this tract continuing as single family residential, at this location be approved, per the revised general plan, by the City of Iowa Colony City Council;

For Proposed Change (3) – that the commercial use for the two tracts indicated at this location be approved by the City of Iowa Colony City Council.

The City of Iowa Colony Planning and Zoning Commission has approved and recommends approval by the City of Iowa Colony City Council of all 3 changes listed above.

Note: There are other modifications that have been made to the proposed Plan of Development, as submitted by the applicant, including a proposed change of use for Tract 9A, 20.3 Acres (southeast corner of the Sierra Vista development) as indicated on the 2018 approved Plan of Development (Tract 9A indicated as “Swing” land use) and proposed modifications to the text in the proposed Plan of Development relating to a proposed Townhouse land use and removal of the “Swing” and “Multi-family” land use. These proposed modifications have been removed from consideration by the applicant and are not submitted for review or approval.

Therefore, Staff recommends **“that the City of Iowa Colony City Council approve the proposed Plan of Development of Sterling Lakes at Iowa Colony and Sierra Vista Amendment Number 3, subject to the conditions indicated in the Staff Letter of Recommendation dated August 16, 2021 for only the proposed changes indicated therein and no other”.**

J. Kent Marsh, AICP CUD
City of Iowa Colony Staff Planner

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF IOWA COLONY, TEXAS, AMENDING THE EMPLOYEE PERSONNEL POLICIES AND PROCEDURES HANDBOOK; PROVIDING FOR OTHER POLICIES; AND PROVIDING A SEVERANCE CLAUSE AND EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF IOWA COLONY, TEXAS:

1. The attached Employee Personnel Policies and Procedures Handbook of the City of Iowa Colony, Texas, is hereby adopted and is incorporated herein in full.

2. The Employee Personnel Policies and Procedures Handbook hereby adopted supersedes any prior personnel policies, by any name, of the City of Iowa Colony; provided, however, that any personnel policies and manuals of the Police Department shall remain in effect, to the extent that they do not contradict the attached Employee Personnel Policies and Procedures Handbook.

3. If any part of this ordinance or the attached Employee Personnel Policies and Procedures Handbook, of whatever size, is ever declared invalid or unenforceable for any reason, the remainder of this ordinance shall remain in full force and effect.

4. This ordinance shall be effective immediately upon its passage, approval, and adoption.

PASSED AND APPROVED ON THE FIRST READING ON _____, 2021.

PASSED, APPROVED, AND ADOPTED ON THE SECOND AND FINAL READING ON _____, 2021.

CITY OF IOWA COLONY

By: _____
MICHAEL BYRUM-BRATSEN,
MAYOR

ATTEST:

KAYLEEN ROSSER,
CITY SECRETARY

ATTACHMENT

**EMPLOYEE PERSONNEL POLICIES AND
PROCEDURES HANDBOOK**

CITY OF IOWA COLONY, TEXAS

Copy

VIII. Attendance, Absences, and Compensation

8.06 Personal Leave (Vacation)

(a) Accruals.

Adding new paragraph within section (a), as follows:

In order to assist with curtailing the on-going global pandemic emergency, employees who are considered fully vaccinated from the COVID disease prior to the adoption of this policy, or who receive the full complement of COVID vaccine prior to November 1, 2021, are eligible to receive sixteen (16) hours of additional vacation accrual to be used before November 1, 2022. To receive this accrual, the employee shall provide acceptable proof of vaccination (preferably the COVID vaccination card) to the City Manager's Office on or before November 1, 2021. Use of this additional vacation leave must comply with the remainder of this policy.

This paragraph will be inserted immediately before the sentence:

"Regular, part-time, temporary, and seasonal employees do not earn personal leave."

Copy

Ordinance No. O-2021-__

AN ORDINANCE APPROVING THE ISSUANCE OF BONDS BY THE IOWA COLONY DEVELOPMENT AUTHORITY; AND CONTAINING VARIOUS PROVISIONS RELATED TO THE FOREGOING SUBJECT.

* * * * *

WHEREAS, by City of Iowa Colony Ordinance No. 2010- 2, adopted March 15, 2010, the City of Iowa Colony, Texas (the “City”) created Reinvestment Zone Number Two, City of Iowa Colony, Texas (the “Zone”) for the purposes of development within the City; and

WHEREAS, by City Ordinance No. 2010-4, adopted June 21, 2010, the City approved the Project Plan and Reinvestment Zone Financing Plan for the development of the Zone (the “Project and Financing Plan”), as amended by City Ordinance No. 2016-21, adopted August 22, 2016, and by City Ordinance No. O-2020-16, adopted June 15, 2020; and

WHEREAS, by Resolution No. R2010-R-3 adopted on March 15, 2010, the City authorized the creation of the Iowa Colony Development Authority (the “Authority”), a local government corporation, pursuant to Subchapter D of Chapter 431, Texas Transportation Code, to aid, assist and act on behalf of the City in the performance of the City’s governmental functions with respect to promoting, developing, encouraging and maintaining housing, employment, commerce and economic development within the Zone; and

WHEREAS, The City, the Zone, and the Authority entered into an agreement dated February 21, 2011, as amended and restated on August 22, 2016 (the “Tri-Party Agreement”), pursuant to which the Authority would have authority to administer the Zone; make recommendations to the Zone Board and the City with respect to the development of the Zone; perform and engage in activities relating to the acquisition, development and sale of land and other properties; engage in development and redevelopment activities; construct and improve

infrastructure in the Zone; enter into development agreements with developers/builders in the Zone; subject to City approval, issue, sell or deliver its bonds, notes, or other obligations; and perform the other activities provided in the Tri-Party Agreement; and

WHEREAS, the Tri-Party Agreement provides that the Authority may not issue bonds without approval by the City; and

WHEREAS, by City Ordinance No. 2018-24, adopted October 22, 2018, the City approved and authorized the Authority to sell its 2018 series of bonds in an aggregate principal amount not to exceed \$11,000,000 (the “Series 2018 Bonds”), and by City Ordinance No. 2019-31, adopted September 16, 2019, the City approved and authorized the Authority to sell its 2019 series of bonds in an aggregate principal amount not to exceed \$6,000,000 (the “Series 2019 Bonds”); and by City Ordinance No. 2020-11, adopted May 18, 2020, the City approved and authorized the Authority to sell its 2020 series of bonds in an aggregate principal amount not to exceed \$6,500,000 (the “Series 2020 Bonds”); and

WHEREAS, in accordance with its duly adopted Resolution Authorizing the Issuance of Iowa Colony Development Authority Tax Increment Contract Revenue Bonds, Series 2018, dated November 28, 2018, the Authority sold its Series 2018 Bonds in the aggregate principal amount of \$8,480,000; and in accordance with its duly adopted Resolution Authorizing the Issuance of Iowa Colony Development Authority Tax Increment Contract Revenue Bonds, Series 2019, dated November 4, 2019, the Authority sold its Series 2019 Bonds in the aggregate principal amount of \$4,105,000; and in accordance with its duly adopted Resolution Authorizing the Issuance of Iowa Colony Development Authority Tax Increment Contract Revenue Bonds, Series 2020, dated June 18, 2020, the Authority sold its Series 2020 Bonds in the aggregate principal amount of \$3,865,000; and

WHEREAS, in order to implement the Project and Financing Plan and fulfill the purposes for which it was created, the Authority requests the City's approval for the Authority to issue its series 2021 bonds in an amount not to exceed \$8,000,000; and

WHEREAS, the City desires to grant the Authority such right and power to issue bonds as described herein; **NOW, THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF IOWA COLONY, TEXAS:

Section 1. That the findings contained in the preamble of this Ordinance are declared to be true and correct and are hereby adopted as part of this Ordinance.

Section 2. The City hereby approves and authorizes the Authority to issue its bonds payable from and secured by the revenues to be paid by the City and the Zone pursuant to the Tri-Party Agreement (the "Tri-Party Agreement Revenues"), in an aggregate principal amount not to exceed EIGHT MILLION DOLLARS (\$8,000,000).

Section 3. The City shall have no obligation with respect to the bonds of the Authority other than to make payments of tax increments to the Authority pursuant to the Tri-Party Agreement. The bonds of the Authority shall contain on their face a statement that the City is not obligated to make payments on the bonds from taxes or other moneys of the City other than the Tri-Party Agreement Revenues pursuant to the terms of the Tri-Party Agreement.

Section 4. The Mayor and the staff of the City are hereby authorized to provide to the Authority such information and documents, and the Mayor and staff of the City are authorized to execute necessary certificates and provide necessary financial information with respect to the City, the tax increment fund created by the City for the Zone, and other financial information of the City

with respect to the Zone, as may be required or requested by the Authority to offer and sell the bonds approved herein.

Section 5. That the City Council officially finds, determines, recites and declares a sufficient written notice of the date, hour, place and subject of this meeting of the City Council was posted at a place convenient to the public at the City Hall of the City for the time required by law preceding this meeting as required by the Open Meetings Law, Chapter 551, Texas Government Code, and that this meeting has been open to the public as required by law at all times during which this ordinance and the subject matter thereof has been discussed, considered and formally acted upon. The City Council further ratifies, approves, and confirms such written notice and the contents and posting thereof.

PASSED AND ADOPTED this 16th day of August, 2021.

CITY OF IOWA COLONY, TEXAS

Mayor

ATTEST:

City Secretary

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF IOWA COLONY, TEXAS, ADOPTING RULES OF PROCEDURE, A SOCIAL MEDIA POLICY, A WEBSITE POLICY, AND A CODE OF CONDUCT FOR CITY COUNCIL MEMBERS AND CERTAIN OTHER PERSONNEL, WITH RELATED PROVISIONS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF IOWA COLONY, TEXAS:

1. The attached Rules of Procedure, Social Media Policy, Website Policy, and Code of Conduct of the City of Iowa Colony, Texas, (herein called "the Policies") are hereby adopted and are incorporated herein in full.
2. The Policies hereby adopted supplement any prior policies or ordinances, by any name, of the City of Iowa Colony.
3. If any part of this ordinance or the attached Policies, of whatever size, is ever declared invalid or unenforceable for any reason, the remainder of this ordinance shall remain in full force and effect.
4. This ordinance shall be effective immediately upon its passage, approval, and adoption.

PASSED AND APPROVED ON THE FIRST READING ON _____, 2021.

PASSED, APPROVED, AND ADOPTED ON THE SECOND AND FINAL READING ON _____, 2021.

CITY OF IOWA COLONY

By: _____
MICHAEL BYRUM-BRATSEN,
MAYOR

ATTEST:

KAYLEEN ROSSER,
CITY SECRETARY

ATTACHMENT:

**RULES OF PROCEDURE,
SOCIAL MEDIA POLICY,
WEBSITE POLICY,
AND CODE OF CONDUCT
FOR
CITY OF IOWA COLONY**

Copy

ORDINANCE NO. 2002-8

AN ORDINANCE OF THE CITY OF IOWA COLONY, TEXAS, ESTABLISHING THE PROHIBITION OF THE USE OF DETENTION PUMPS WITHIN THE CITY LIMITS OF IOWA COLONY, TEXAS; PROVIDING A PENALTY IN AN AMOUNT NOT TO EXCEED \$200.00 PER DAY; PROVIDING FOR SEVERABILITY, AND EFFECTIVE DATE.

WHEREAS, detention pump systems are used for the movement of stormwater in Drainage Districts and in cities in the area;

WHEREAS, there is the potential for failure of an individual or individuals to maintain the mechanical working condition of said pumps;

WHEREAS, the City desires to have no responsibility for the maintenance of such pumps in the event of failure of the individuals to maintain them;

WHEREAS, the City, from the date of this Ordinance forward, prohibits the use of detention pump systems in the City Limits of the City of Iowa Colony.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF IOWA COLONY, STATE OF TEXAS:

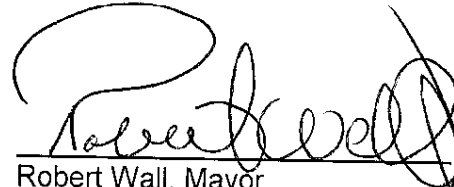
SECTION 1: The facts and matters set forth in the preamble of this Ordinance are found to be true and correct.

SECTION 2: Any person who shall violate any provision of this Ordinance shall be deemed guilty of a misdemeanor and shall, upon conviction thereof, be fined in an amount not to exceed two hundred and no/100 dollars (\$200.00). Each day in which any violation shall occur or each occurrence of any violation shall constitute a separate offense.

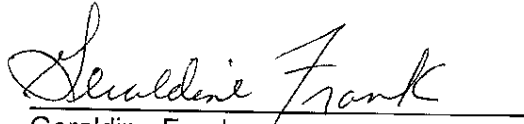
SECTION 3: In the event any clause, phrase, sentence, or part of this Ordinance or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Iowa Colony, declares that it would have passed each and every part of the same notwithstanding the omission of any such part thus declared to be invalid or unconstitutional, whether there be one or more parts.

SECTION 4: This ordinance shall become effective and in full force on the date it is approved and adopted by the City Council of the City of Iowa Colony, Texas and signed by the Mayor and attested to by the City Secretary.

PASSED, APPROVED AND ADOPTED BY THE CITY COUNCIL ON THE 16 DAY OF December, 2002.


Robert Wall, Mayor

ATTEST:


Geraldine Frank
City Secretary

Copy

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF IOWA COLONY, TEXAS, FOR THE PURPOSE OF AMENDING CHAPTER 5, STORM WATER DRAINAGE DESIGN CRITERIA, OF THE IOWA COLONY ENGINEERING DESIGN CRITERIA MANUAL; PROVIDING THAT A VIOLATION IS A MISDEMEANOR PUNISHABLE BY A FINE OF UP TO \$500 PER DAY; PROVIDING FOR OTHER PENALTIES AND REMEDIES; AND CONTAINING RELATED PROVISIONS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF IOWA COLONY, TEXAS:

1. Adoption of Amended Chapter 5 of Engineering Design Criteria Manual

The attached Chapter 5, Storm Water Drainage Design Criteria (“DCM Chapter 5”), of the City of Iowa Colony Engineering Design Criteria Manual (the “Engineering Design Criteria Manual” or “Design Criteria Manual”) is hereby adopted and ordained, and the regulations and provisions therein stated are hereby established. Any reference in any other ordinance, policy, or other source to an engineering design criteria manual or design criteria manual of the City of Iowa Colony shall refer to the City of Iowa Colony Engineering Design Criteria Manual, as amended from time to time. Any reference herein to “this Ordinance” or similar terms shall also include the Engineering Design Criteria Manual as hereby amended, and that amended manual is a part of this ordinance.

2. Compliance Required

Any construction, planned construction, or plans for which a permit or approval from the City of Iowa Colony is required must be done in compliance with the Design Criteria Manual, according to its terms.

3. Denial or Revocation of Permits for Approval

The failure of any plans, construction, or planned construction to comply with Design Criteria Manual shall be grounds for the City to deny or revoke any approval or permit from the City concerning such plans, construction, or planned construction.

4. Other Ordinances

a. Ordinance No. 2002-08, which prohibited pumped detention systems, is hereby repealed.

b. The attached Chapter 5 replaces all prior versions of the Storm Water Drainage Design Criteria of the Engineering Design Criteria Manual of the City; provided, however, that to the extent of any vested rights under a prior version of the Design Criteria Manual, that prior version shall remain in effect. Nothing herein shall be construed to repeal, replace, or impair any other portion of the Engineering Design Criteria Manual.

c. Otherwise, the attached portion of the Engineering Design Criteria Manual is cumulative of all requirements from any other source and shall not authorize noncompliance with any other regulation or requirement from any source.

d. In the event of any conflict in terms, the stricter requirement shall govern and control.

5. Offenses, Penalties, and Remedies

a. Any person who participates in any violation of any provision of this Ordinance shall be deemed guilty of a misdemeanor and, upon conviction, shall be fined in an amount not to exceed \$500.00. Each day or portion of a day a violation continues, occurs, or recurs shall constitute a separate offense.

b. The City shall have the right to enforce this ordinance by injunction and by other actions in a civil court and/or by any and all remedies from any and all sources.

c. All rights and remedies of the City provided in this ordinance shall be cumulative of all other rights and remedies provided herein, by other ordinances, or by any source.

d. The exercise of any right or remedy by the City shall not be construed as an election of remedies and shall not impair any other right or remedy of the City. The City may exercise any right or remedy herein either alone or together with any other right or remedy under this ordinance, any other ordinance, or any applicable law. Without limiting the generality of the foregoing, pursuing or receiving any civil remedy for any violation of this ordinance shall not preclude the pursuit or receipt of any criminal penalty for any violation hereof.

6. Nonwaiver by Nonenforcement

The failure or omission of the City, upon one or more occasions, to enforce any right, obligation, or remedy under this Ordinance or any other law concerning the subject matter hereof shall never be construed as a waiver of the City's right to strictly enforce such right, obligation, or remedy, and the City may resume such strict enforcement without advance notice.

7. Nonwaiver of Immunity

Nothing in this Ordinance shall ever be construed as a full or partial waiver of governmental immunity, official immunity, or any other immunity of the City or its officers, employees, agents, or representatives.

8. Nonliability of City

Neither the City, nor its officers, employees, agents, or representatives shall be liable to any person, other than the City, for any act, omission, or condition in any way concerning this ordinance or the subject matter hereof.

9. Severance Clause

If any part of this ordinance, of whatever size, is ever declared invalid or unenforceable for any reason, the remainder of this ordinance shall remain in full force and effect.

10. Effective Date

This ordinance shall be effective immediately upon its passage, approval, and adoption.

PASSED AND APPROVED ON THE FIRST READING ON _____, 2021.

PASSED, APPROVED, AND ADOPTED ON THE SECOND AND FINAL READING
ON _____, 2021.

CITY OF IOWA COLONY

By: _____
MICHAEL BYRUM-BRATSEN,
MAYOR

ATTEST:

KAYLEEN ROSSER,
CITY SECRETARY
Iowa Colony/Ordinances/Rules of Procedure (7-19-21)

ATTACHMENT:

**CHAPTER 5,
STORM WATER DRAINAGE DESIGN CRITERIA, OF
THE ENGINEERING DESIGN CRITERIA MANUAL OF
THE CITY OF IOWA COLONY**

Copy

STOP SIGN ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF IOWA COLONY, TEXAS, AUTHORIZING FOUR-WAY STOP SIGNS AT THE WESTERN INTERSECTION OF MERIDIANA PARKWAY AND OBSERVATION WAY DRIVE; PROVIDING OFFENSES AND A PENALTY OF UP TO \$200 FOR A VIOLATION OF THIS ORDINANCE; AND CONTAINING RELATED PROVISIONS.

Whereas Chapter 542 of the Texas Transportation Code authorizes cities to place stop signs on city streets; and

Whereas all requirements of law have been satisfied concerning the stop signs authorized by this ordinance; and

Whereas this ordinance promotes the public health, safety, and welfare and helps alleviate traffic hazards;

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF IOWA COLONY, TEXAS:

1. Stop signs are hereby authorized and shall be placed at the locations described on Exhibit "A," which is attached hereto and incorporated herein in full.
2. Any previous order by the Police Chief authorizing such stop signs is hereby ratified. Any previous placement of such stop signs is hereby ratified.
3. The phrase "Former County Road" may be used in this ordinance, because the roads in question were County Roads before the city limits of Iowa Colony included those roads.
4. The operator of a vehicle approaching any stop sign authorized by this ordinance shall stop as provided by state law.
5. A violation of this ordinance shall be a misdemeanor punishable upon conviction by a fine not to exceed \$200.
6. To the extent of any conflict between the terms of this ordinance and any prior ordinance, this ordinance shall govern and control.
7. If any part of this ordinance, of whatever size, is ever declared invalid or unenforceable for any reason, the remainder of this ordinance shall remain in full force and effect.
8. This ordinance shall be effective at a location immediately upon the placement of signs authorized or ratified by this Ordinance at that location; provided, however, that this

authorization shall be retroactive to the date of any previous order by the Police Chief authorizing said stop signs.

9. This ordinance shall be effective immediately upon its passage, approval, and adoption.

PASSED AND APPROVED ON THE FIRST READING ON _____, 2021.

PASSED, APPROVED, AND ADOPTED ON THE SECOND AND FINAL READING ON _____, 2021.

CITY OF IOWA COLONY

By: _____
MICHAEL BYRUM-BRATSEN,
MAYOR

ATTEST:

KAYLEEN ROSSER,
CITY SECRETARY

Iowa Colony/Ordinances/Stop Signs/Meridiana and Observation (7-19-21)

Iowa Colony/Ordinance/Stop Signs Meridiana and Observation (7-19-21)

EXHIBIT "A"
Authorized Stop Signs

Observation Way intersects Meridiana Parkway at two separate places. This ordinance refers only to the western intersection of Observation Way and Meridiana Parkway, not the eastern intersection where Observation Way changes to Gould Drive.

1. At the southeast corner of the intersection of Observation Way and Meridiana Parkway, facing traffic bound north on Observation Way.
2. At the southwest corner of the intersection of Meridiana Parkway and Observation Way, facing traffic bound east on Meridiana Parkway.
3. In the median of Meridiana Parkway at the west side of its intersection with Observation Way, facing traffic bound east on Meridiana Parkway.
4. At the northwest corner of the intersection of Observation Way and Meridiana Parkway, facing traffic bound south on Observation Way.
5. At the northeast corner of the intersection of Meridiana Parkway and Observation Way, facing traffic bound west on Meridiana Parkway.
6. In the median of Meridiana Parkway at the east side of its intersection with Observation Way, facing traffic bound west on Meridiana Parkway.



12003 Iowa Colony Blvd.
Iowa Colony, Tx. 77583
Phone: 281-369-2471
Fax: 281-369-0005
www.iowacolonytx.gov

STATE OF TEXAS
COUNTY OF BRAZORIA
CITY OF IOWA COLONY

BE IT REMEMBERED ON THIS, the 19th day of July, 2021, the City Council of the City of Iowa Colony, Texas, held a Public Meeting at 7:00 P.M. at Iowa Colony City Hall, there being present and in attendance the following members to wit:

Mayor Michael Byrum-Bratsen
Councilwoman Sydney Hargroder
Councilwoman Arnetta Murray
Councilwoman Marquette Greene-Young
Councilman Wil Kennedy
Councilman Chad Wilsey

And none being absent, constituting a quorum at which time the following business was transacted.

WORKSESSION- 6:00 P.M.

1. Mayor Byrum-Bratsen called the work session to order at 6:02 P.M.
2. Discussion of Proposed Rules of Procedure. Ron Cox presented the proposed rules of procedure including a change to the draft.
3. Discussion of architects work for the public safety building. Scott Brady with Joiner Architects presented a presentation of the public safety building.
4. The work session was adjourned at 6:42 P.M.

REGULAR MEETING – 7:00 P.M.

1. Mayor Byrum-Bratsen called the meeting to order at 7:00 P.M.
2. Pledge of Allegiance and Texas Pledge were recited.

3. PUBLIC HEARINGS

- Hold a public hearing on amending the Unified Development Code on regulations and procedures for the City Council, Building Code Board of Adjustments and Appeals, Zoning Board of Adjustments, Planning and Zoning Commission, and other boards and commissions. Mayor Byrum-Bratsen opned the public hearing at 7:00 P.M. There were no comments from the public. Mayor Byrum-Bratsen closed the public hearing at 7:01 P.M.

- Hold a public hearing on amending the Unified Development Code and the Zoning Ordinance on: (1) regulations, procedures, and authority under those ordinances for the City Council, Building Codes Board of Appeals, Zoning Board of Adjustment, Planning and Zoning Commission, and other boards and commissions; and (2) building transparency, build-to lines, external building requirements, and other building regulations. Mayor Byrum-Bratsen opened the public hearing at 7:03 P.M. No comments from the public. The public hearing remained open.

4. Citizens Comments and Presentations. There were no comments from the public.

EXECUTIVE SESSION – 7:03 P.M.

Executive Session in accordance with 551.071 and 551.074 Texas Gov't Code to deliberate on the following:

- City Manager Appointment and contract
- Ron Cox Consulting Agreement

RETURN TO OPEN SESSION- 7:16 P.M.

5. Consideration and possible action to appoint Robert Hemminger as the City Manager and approve the contract with Mr. Robert Hemminger as City Manager. Mayor Byrum-Bratsen made a motion to appoint Robert Hemminger as the City Manager and approve the contract with Mr. Hemminger as the City Manager. Seconded by Councilwoman Murray. Approved unanimously.

6. Consideration and possible action to perform the swearing in ceremony of Mr. Robert Hemminger. Mayor Byrum-Bratsen made a motion for the City Secretary, Kayleen Rosser to perform the swearing in ceremony of Mr. Hemminger. Seconded by Councilwoman Greene-Young. Approved unanimously. Mr. Hemminger was sworn in by the City Secretary, Kayleen Rosser.

7. Consideration and possible action to approve continuing with Ron Cox Consulting as a City Consultant. Councilwoman Murray made a motion to approve continuing with Ron Cox Consulting as a City Consultant. Seconded by Councilman Kennedy. Approved unanimously. Ron Cox thanked Council, Staff, and Consultants and reminisced about his last fifteen years with the City of Iowa Colony.

8. Mayor's comments or reports. Mayor Byrum-Bratsen thanked Ron for all his years of dedication to the city. His time working with Ron has been bittersweet. He is going to miss the Manager/ Mayor relationship with Ron. He hopes to continue the relationship with Robert. He is looking forward to working with Robert.

9. Council comments or reports.

- Councilman Wilsey- Congratulated Mr. Hemminger on his appointment as the new City Manager. He thanked Ron Cox. He asked how we could provide reliable internet to the rural area of Iowa Colony.
- Councilman Kennedy- Congratulated Mr. Hemminger. He thanked Ron for the brief amount of time he worked with him. The quantity of time has been brief but the quality of

that time was quite significant. As a city we have challenges and he looks forward to working together on those challenges and opportunities.

- Councilwoman Greene-Young- Welcomed Mr. Hemminger to the city. Thanked Ron. She appreciates that anytime she had questions he always answered them. She announced a save the date for Iowa Colony Family Day in Sterling Lakes on August 21st from 10:00 am to 2:00 pm.
- Councilwoman Murray- Thanked Ron and Robert. Welcomed Mr. Robert and his family to the city. Discussed the option of a grant for broadband throughout the city.
- Councilwoman Hargroder- Welcomed Robert and his family. Thanked Ron by quoting Shakespeare. Also, thanked him for his hard work, honesty, and diligence.

10. Staff Reports.

- A. City Manager
- B. City Engineer
- C. Police Department- Chief Bell thanked Ron for his time working in Iowa Colony
- D. Building Official/Fire Marshal- Thanked Ron
- E. City Secretary- The City Council and Staff will be hosting a recognition dinner for Ron Cox on a later date. Stated that Ron will be missed.
- F. Senior Accountant
- G. Public Works- Thanked Ron for his time.

11. Consideration and possible action to approve Amendment #2 to the Sierra Vista/Sterling Lakes Plan of Development for the Sterling Lakes North section as recommended by the Planning and Zoning Commission. Councilman Wilsey made a motion to approve amendment # 2 to the Sierra Vista/Sterling Lakes Plan of Development for the Sterling Lakes North section as recommended by the Planning and Zoning Commission and with further amendments as stated by Mr. Barnett. Seconded by Councilwoman Hargroder. Approved unanimously.

12. Consideration and possible action to approve contracts with TLC Engineering and Crowder Gulf, LLC for debris monitoring and debris collection for emergency management purposes. Councilwoman Murray made a motion to approve contracts with TLC Engineering and Crowder Gulf, LLC for debris monitoring and debris collection for emergency management purposes. Seconded by Councilman Wilsey. Approved unanimously.

13. Consideration and possible action to select administration/project delivery service providers to complete project implementation for the American Rescue Plan Act funding administered by the Texas Department of Emergency Management, the U.S. Department of Treasury or other Federal and State Agencies. Councilwoman Hargroder moved to approve Grantworks as the service provider to complete project implementation for the American Rescue Plan Act funding administered by the Texas Department of Emergency Management, the U.S. Department of Treasury or other Federal and State Agencies. Seconded by Councilwoman Greene-Young. Approved unanimously.

14. Consideration and possible action to authorize the following regarding the proposed public safety building.

- Authorize Joiner Architects to proceed with schematic design through design development.

- Authorize Adico,LLC to proceed with civil engineering services.

Councilwoman Murray moved to authorize the following regarding the proposed public safety building.

- Authorize Joiner Architects to proceed with schematic design through design development.
- Authorize Adico,LLC to proceed with civil engineering services.

Seconded by Councilwoman Greene-Young. Approved unanimously.

15. Consideration and possible action to adopt the schedule and set public hearings for the adoption of the budget and tax rate. Councilwoman Murray made a motion to adopt the schedule and set the public hearings for the adoption of the budget and tax rate to be Monday, August 16th at 7:00 P.M. to propose not adopt the tax rate, a special meeting on Thursday, September 9th at 6:00 P.M. to hold the public hearing on the budget, and Monday, September 20th at 7:00 P.M. Council Meeting to adopt the tax rate and authorize the City Manager to amend the schedule if necessary. Seconded by Councilwoman Greene-Young. Approved unanimously.

16. Consideration and possible action to adopt an ordinance on first reading approving the plan of financing and authorizing the Iowa Colony Development Authority to issue its Series 2021 Bonds in an amount not to exceed \$8 million. Councilwoman Hargroder made a motion to adopt an ordinance on first reading approving the plan of financing and authorizing the Iowa Colony Development Authority to issue its Series 2021 Bonds in an amount not to exceed \$8 million. Seconded by Councilman Kennedy. Approved unanimously.

17. Consideration and possible action to approve an Ordinance on first reading adopting the Rules of Procedure including the social media policy, website policy, and code of conduct. Councilwoman Hargroder moved to approve an Ordinance on first reading adopting the Rules of Procedure including the social media policy, website policy, and code of conduct. Seconded by Councilman Wilsey. Approved unanimously.

18. Consideration and possible action to approve an Ordinance on first reading repealing Ordinance No. 2002-08 establishing standards for pumping mechanisms for detention facilities and amending the Design Criteria Manual to cover the same. Councilwoman Hargroder made a motion to approve an ordinance on first reading repealing Ordinance No. 2002-08 establishing standards for pumping mechanisms for detention facilities and amending the Design Criteria Manual to cover the same. Seconded by Councilwoman Murray. Approved unanimously.

19. Consideration and possible action to adopt an ordinance on first reading to erect four-way stop signs at the intersection of Meridiana Parkway and Observation Way. Councilwoman Greene-Young made a motion to adopt an ordinance on first reading to erect four-way stop signs at the intersection of Meridiana Parkway and Observation Way. Seconded by Councilwoman Hargroder. Approved unanimously.

20. Consent Agenda for Ordinances - Adopt Ordinances on second and final reading.

- A. Consideration and possible action to approve an ordinance on second and final reading amending the Employee Handbook.

- B. Consideration and possible action to approve an ordinance on second and final reading amending the parks rules and regulations.

Councilwoman Murray made a motion to approve consent agenda ordinance A and B as listed on second and final reading. Seconded by Councilman Wilsey. Approved unanimously.

21. Consent Agenda- Consideration and possible action to approve the following consent agenda items. Councilwoman Murray made a motion to accept all consent agenda items and to vote on item F separately. Seconded by Councilwoman Greene-Young. Approved unanimously.

- A. Approval of minutes of the following meetings.
- June 21, 2021 - Regular Meeting
 - June 24, 2021- Special Meeting
 - June 28, 2021- Special Meeting
- B. Approval of the following plats as recommended by the Planning and Zoning Commission.
- Meridiana Section 57 Preliminary Plat
- C. Approve the following Infrastructure Approvals/Acceptances
- Meridiana Parkway Phase IV water, sanitary, drainage, and paving facilities-Final approval of infrastructure improvements
 - Sierra Vista West Section 6-water, sanitary, drainage, and paving facilities-Approval into one-year maintenance period.
- D. Approval of an early plat agreement for Sierra Vista West Section 5.
- E. Approve the following early plat releases and return of escrow funds
- Sierra Vista West Section 4
 - Sierra Vista West Section 6
 - Crystal View Drive Phase 3
- F. Approve the waiver of permit fees for the Iowa Colony Volunteer Fire Department construction project. Councilman Wilsey made a motion to approve item F as presented. Seconded by Councilman Kennedy. Approved with five ayes. Councilwoman Hargroder abstained from the vote due to a conflict of interest.
- G. Approve the quarterly investment report.
- H. Approve a resolution adding and removing authorized signatures for the following
- First State Bank of Manvel, First National Bank of Alvin, and Texas Advantage- Remove Ronald Cox and add Robert Hemminger.

EXECUTIVE SESSION- 8:43 P.M.

Executive Session in accordance with 551.071, 551.072, and 551.074 Texas Gov't Code to deliberate on the following:

- Sale of property to MUD 31
- Purchase of ROW for Davenport Road construction project
- Parks and Recreation Board Positions

RETURN TO OPEN SESSION- 9:20 P.M.

22. Consideration and possible action regarding the sale of property to MUD 31. No action taken.

23. Consider passing the following motion by a record vote to use eminent domain to condemn property: “I move that the City of Iowa Colony, Texas authorize the use of the power of eminent domain to acquire certain property at 3518 Davenport Parkway, Iowa Colony, Texas, as more fully described in the written resolution on this action, for the public use and purpose of streets, drainage, and utilities, and that the City adopt the resolution on this action as presented.

Councilwoman Hargroder made a motion to use eminent domain to condemn property: “I move that the City of Iowa Colony, Texas authorize the use of the power of eminent domain to acquire certain property at 3518 Davenport Parkway, Iowa Colony, Texas, as more fully described in the written resolution on this action, for the public use and purpose of streets, drainage, and utilities, and that the City adopt the resolution on this action as presented. Seconded by Councilwoman Greene-Young. The City Secretary took a roll call vote. Councilwoman Hargroder voted aye; Councilwoman Murray voted aye; Mayor Byrum-Bratsen voted aye; Councilwoman Greene-Young voted aye; Councilman Kennedy voted aye; and Councilman Wilsey voted aye. Approved unanimously by a record vote.

24. Consider passing the following motion by a record vote to use eminent domain to condemn property: “I move that the City of Iowa Colony, Texas authorize the use of the power of eminent domain to acquire certain property at 3522 Davenport Parkway, Iowa Colony, Texas, as more fully described in the written resolution on this action, for the public use and purpose of streets, drainage, and utilities, and that the City adopt the resolution on this action as presented.

Councilwoman Greene-Young moved to use eminent domain to condemn property: “I move that the City of Iowa Colony, Texas authorize the use of the power of eminent domain to acquire certain property at 3522 Davenport Parkway, Iowa Colony, Texas, as more fully described in the written resolution on this action, for the public use and purpose of streets, drainage, and utilities, and that the City adopt the resolution on this action as presented. Seconded by Councilman Wilsey. The City Secretary took a roll call vote. Councilwoman Hargroder voted aye; Councilwoman Murray voted aye; Mayor Byrum-Bratsen voted aye; Councilwoman Greene-Young voted aye; Councilman Kennedy voted aye; and Councilman Wilsey voted aye. Approved unanimously by a record vote.

25. Consideration and possible action to appoint members to the parks and recreation board. Councilwoman Hargroder made a motion to appoint Eva Aguillon and Al Villarreal to the parks and recreation board. Seconded by Councilwoman Greene-Young. Approved unanimously.

26. Consideration and possible action to approve a resolution naming the future Municipal Government Center. Councilwoman Murray made a motion to approve a resolution naming the

future Municipal Government Center after Ronald E. Cox. Seconded by Councilman Wilsey. Approved unanimously.

27. Councilwoman Murray made a motion to adjourn. Seconded by Councilwoman Greene-Young. Approved unanimously. The meeting was adjourned at 9:30 P.M.

APPROVED THIS 16th DAY OF AUGUST, 2021.

ATTEST:

Kayleen Rosser, City Secretary

Michael Byrum-Bratsen, Mayor

Copy

Wednesday, July 28, 2021

Stan Winter
Jones Carter
1575 Sawdust Road, Suite 400
The Woodlands, TX 77380

Re: Sterling Lakes North Section 7 Preliminary Plat
Previously submitted as Sterling Lakes North Section 10
Letter of Recommendation to Approve
CIOC Project No. SPP 210510-0653
ALLC Project No. 16007-2-199

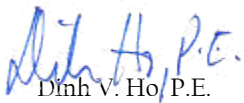
Dear Mr. Winter;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the third submittal for Sterling Lakes North Section 7 Preliminary Plat, previously submitted as Sterling Lakes North Section 10, received on or about July 28, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance dated August 2002 and as amended.

Based upon our review, we have no objections to the preliminary plat as resubmitted on July 28, 2021. Please submit ten (10) folded copies of the plat to Kayleen Rosser, City Secretary, by no later than Thursday, July 29th, for consideration at the August 3, 2021, Planning and Zoning Commission meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC



Dinh V. Ho, P.E.
TBPE Firm No. 16423

Cc: Kayleen Rosser, City Secretary (krosser@iowacolonytx.gov)
Robert Hemminger, City Manager, (rhemminger@iowacolonytx.gov)
Ron Cox, (rcox@roncoxconsulting.com)
File: 16007-2-199

RESTRICTED RESERVE [A]
Restricted to Landscape,
Utility, Detention & Drainage
Purposes Only
14.90 AC
649,094 Sq Ft

RESTRICTED RESERVE [B]
Restricted to Pipeline Purposes
Only
0.53 AC
22,920 Sq Ft

RESTRICTED RESERVE [C]
Restricted to Pipeline Purposes
Only
2.13 AC
93,155 Sq Ft

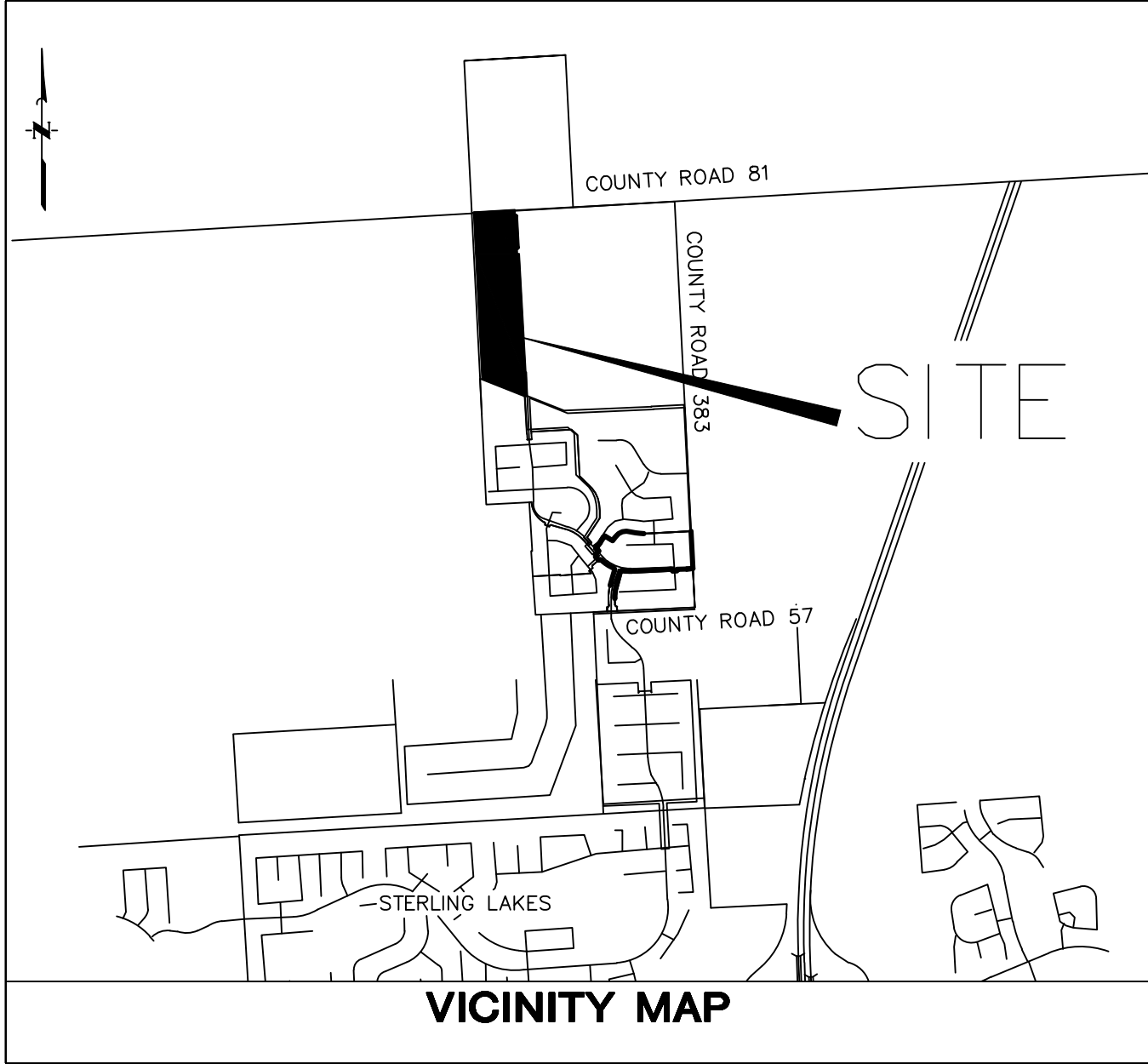
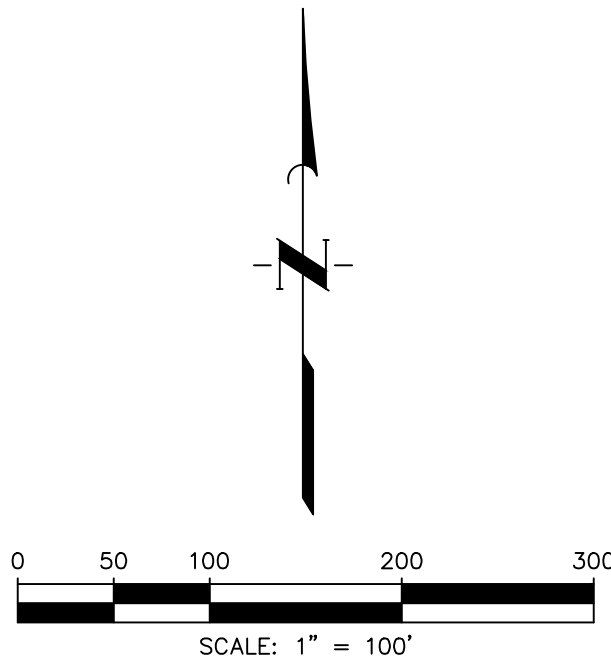
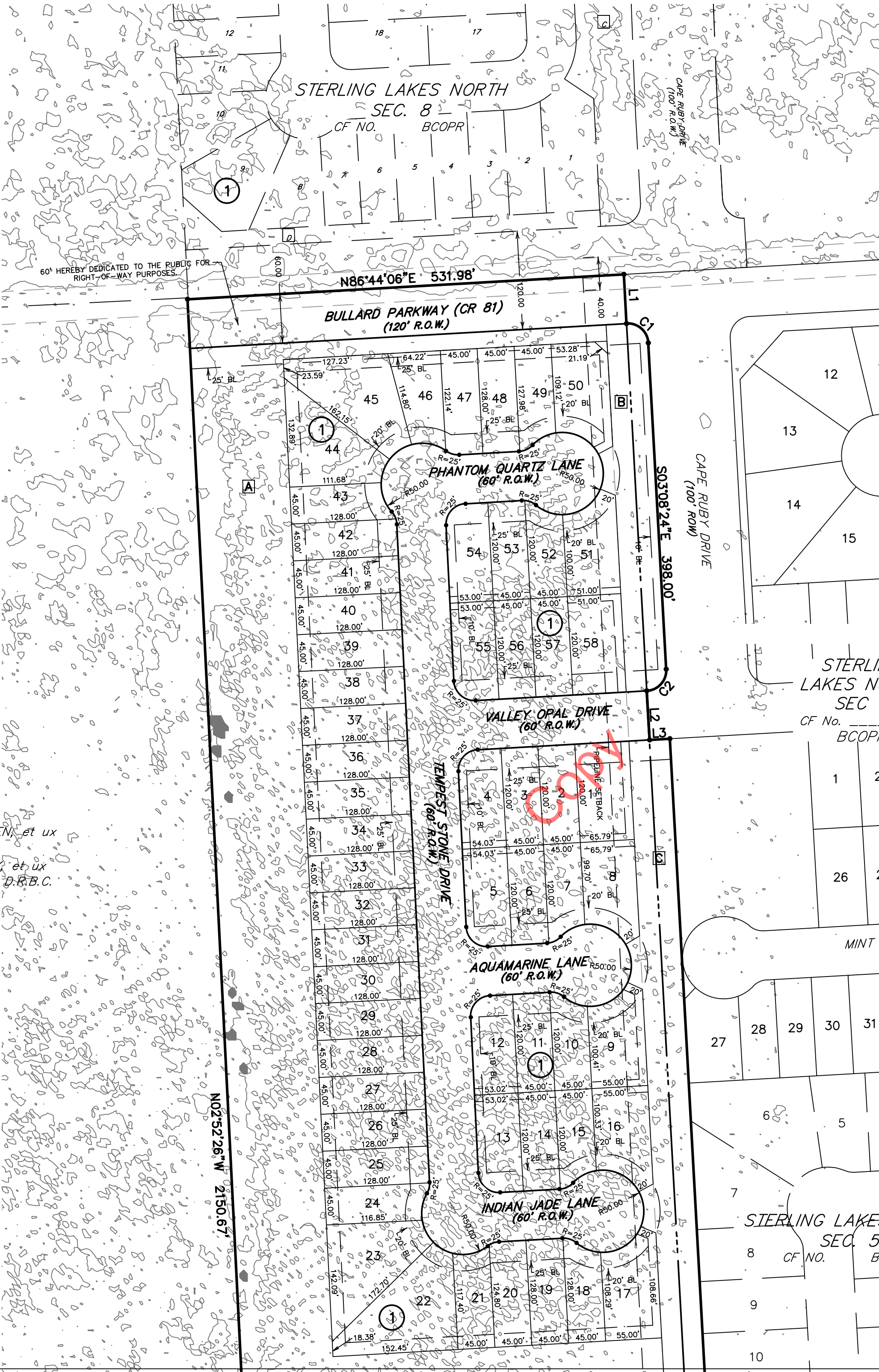
30 ACRES
PETER CHRISTENSEN, et ux
TO
ARCHIE N. GREGORY, et ux
VOL. 382, PG. 286, D.B.C.

MATCH LINE

MATCH LINE

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N03°05'17"W	60.00'
L2	N03°15'54"W	60.00'
L3	S86°44'06"W	24.81'

CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	25.00'	90°07'29"	39.32'	N48°12'09"W	35.39'
C2	25.00'	89°52'31"	39.22'	N41°47'51"E	35.32'



PRELIMINARY PLAT NOTES:

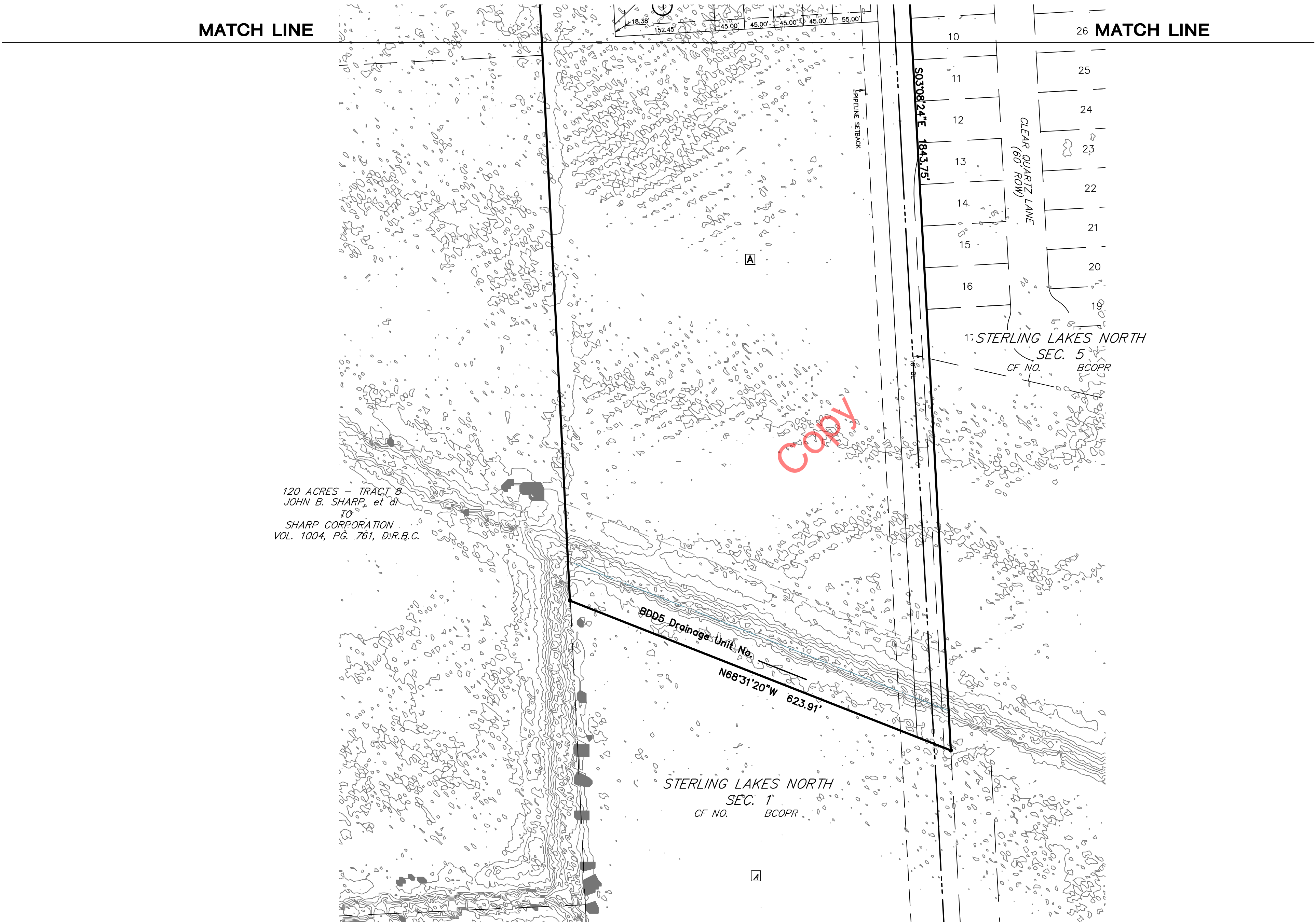
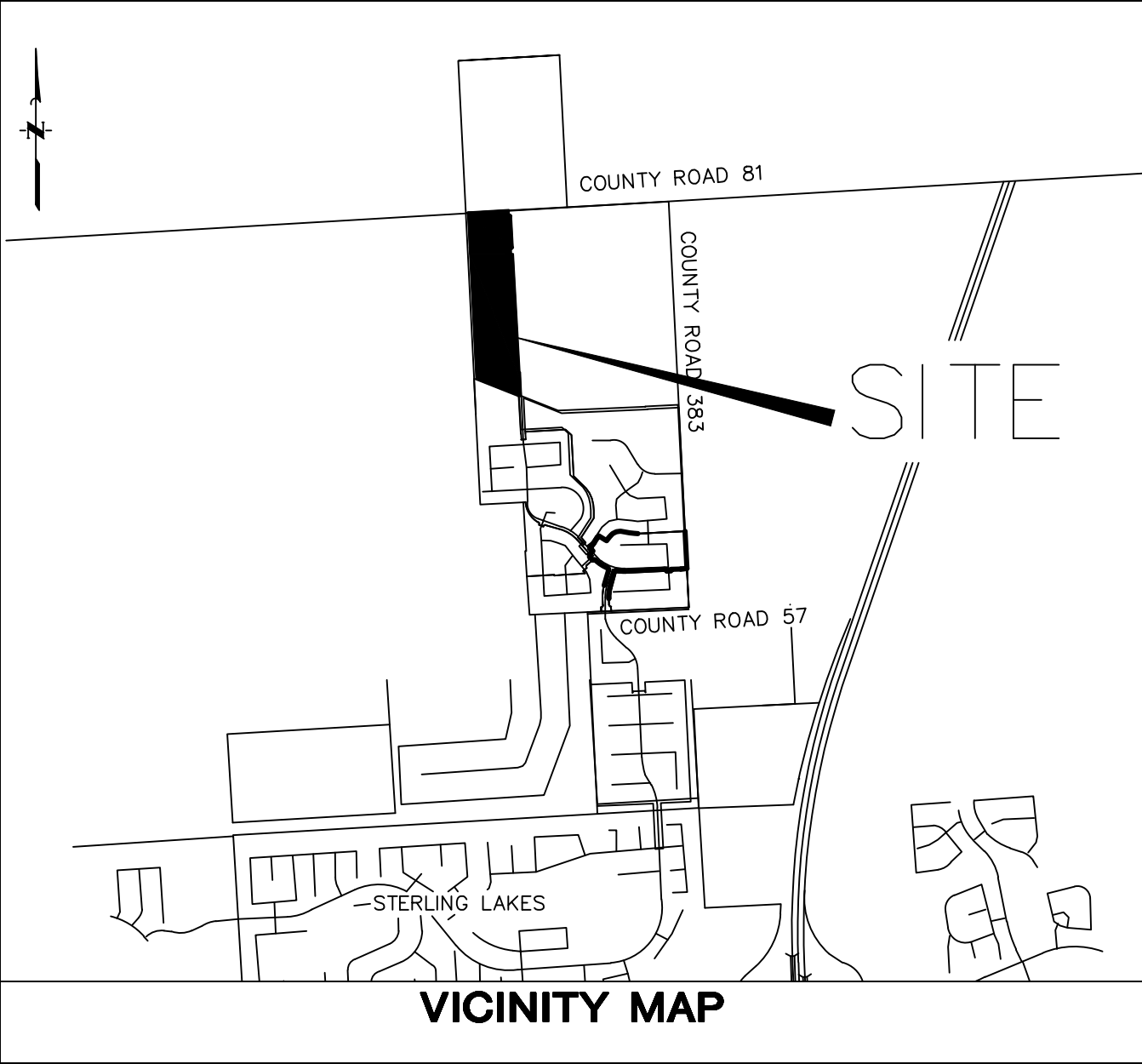
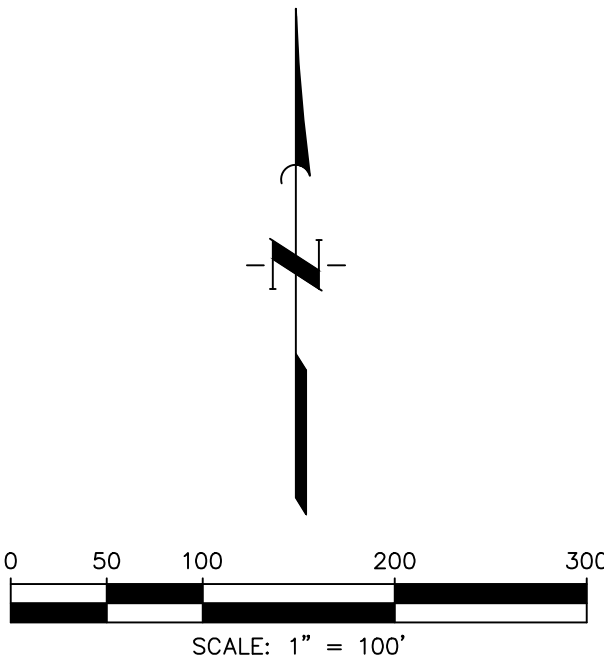
- Slab elevations (finished floor) shall be set at or above the minimum slab elevations defined in this plat.
- All drainage easements shown hereon shall be kept clear of fences, buildings, foundations, plantings and other obstructions to the operation and maintenance of drainage facilities.
- All property shall drain into the drainage easement only through an approved drainage structure.
- The property subdivided in the foregoing plat lies within Brazoria County Drainage District #5.
- This subdivision employs a drainage system, which utilizes streets and adjacent properties to store and convey storm water. Thus, during storm events, ponding of water should be expected to occur in the subdivision.
- Other than shown hereon, there are no pipeline easements, or pipelines within the boundaries of this plat.
- All storm water drainage pipes, culverts, or other (includes driveway culverts) will be a minimum 24" I.D. or equal.
- No Building Permits will be issued until all storm drainage improvements, which may include detention, have been constructed.
- The approval of the preliminary plat shall expire twelve (12) months after City Council approval unless the final plat has been submitted for final approval during that time. An extension of time may be given at the discretion of the City Council for a single extension period of six (6) months.
- Subdivision is located in Zone "AE" with no base flood base elevation required. This information is based on Brazoria County FIRM Community Map 48039C0115K, December 30, 2020.
- All bearings based on the Texas State Plane Coordinate System, South Central Zone.
- All coordinates shown hereon are surface and may be converted to the Texas State Plane Coordinate System, South Central Zone, NAD 83 Grid Coordinates by applying the following scale factor: 0.99857950.
- Monuments set as exterior boundary markers will be set with a minimum of five eighths (5/8) inch iron rod or three quarters (3/4) inch iron pipe at least thirty six (36) inches long, encased in concrete for a minimum of eighteen inches below the surface of the ground.
- All permanent reference monuments ("PRM") will be set at all boundary line angle points, block corners, angle points, points of curvature, and at intervals not to exceed one thousand (1,000) feet. Permanent reference monuments shall conform to the Texas professional land surveying practices act and the general rules of procedures and practices.
- All monuments will be set to the standard of the Texas society of professional land surveying practices act and the general rules of procedures and practices of the Texas board of professional land surveying and shall bear reference caps as indicated.
- Interior lot corner monuments will be set with a minimum of five eighths (5/8) inch iron rod at least thirty six (36) inches in length.
- All streets shall be constructed in accordance with the city's design criteria.
- All water and wastewater facilities shall conform to the city's design criteria.
- A minimum of five (5) foot wide sidewalk shall be required along both spine roads, or a minimum of six(6) foot wide sidewalk shall be required along 1 side, and a minimum of four (4) foot wide sidewalks shall be required along streets within the residential section and shall conform to the city's design criteria.
- Contributing open space areas shall include the area of the permanent water surface and the adjacent side slopes, at a maximum slope of 5:1, for detention reserves with a permanent lake with a minimum water depth of 6 feet beyond the slope transition.
- All easements are centered on lot lines unless shown otherwise.
- This plat is subject to the Development Agreement for Sterling Lakes at Iowa Colony and Sierra Vista, as approved on February 15, 2016 and amended in June, 2018 and July 19, 2021.
- Construction of the south 2 lanes of Bullard Parkway will be required prior to plat recording.
- This tract lies within the boundary of BOMUD No. 31.
- Final plat subject to construction of Sterling Lakes North Section 6.
- Final plat subject to the construction of Bullard Parkway.

**STERLING LAKES
NORTH
SEC 7**
A SUBDIVISION OF 29.38 ACRES OF LAND
OUT OF THE
SECTION 57, H.T. & B.R.R. CO. SURVEY, A-289,
BRAZORIA COUNTY, TEXAS
58 LOTS 1 RESERVE 1 BLOCK
MAY 2021

ENGINEER:
PAPE—DAWSON ENGINEERS, INC.
10350 RICHMOND AVE.
STE. 200
HOUSTON, TX 77042
713—428—2400

OWNER:
IOWA COLONY STERLING LAKES, LTD
2450 FONDREN ROAD
STE. 210
HOUSTON, TX 77063
713—783—6702

SURVEYOR/PLANNER:
J.C. JONES & CARTER
Iowa Board of Professional Engineers Registration No. 6-433
8703 New Trails Drive, Suite 200 • The Woodlands, Texas 77381
361.363.4833



**STERLING LAKES
NORTH
SEC 7**
A SUBDIVISION OF 29.38 ACRES OF LAND
OUT OF THE
SECTION 57, H.T. & B.R.R. CO. SURVEY, A-289,
BRAZORIA COUNTY, TEXAS
58 LOTS 1 RESERVE 1 BLOCK
MAY 2021

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N03°05'17"W	60.00'
L2	N03°15'54"W	60.00'
L3	S86°44'06"W	24.81'

CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	25.00'	90°07'29"	39.32'	N48°12'09"W	35.39'
C2	25.00'	89°52'31"	39.22'	N41°47'51"E	35.32'

ENGINEER:
PAPE-DAWSON ENGINEERS, INC.
10350 RICHMOND AVE.
STE 200
HOUSTON, TX 77042
713-428-2400

OWNER:
IOWA COLONY STERLING LAKES, LTD
2450 FONDREN ROAD
STE 210
HOUSTON, TX 77063
713-783-6702

SURVEYOR/PLANNER:
JONES CARTER
Iowa Board of Professional Engineers Registration No. 6-433
8703 New Trails Drive, Suite 200 • The Woodlands, Texas 77381
361.363.4833

Wednesday, July 28, 2021

Stan Winter
Jones Carter
1575 Sawdust Road, Suite 400
The Woodlands, TX 77380

Re: Sterling Lakes North Section 6 Preliminary Plat
Previously submitted as Sterling Lakes North Section 9
Letter of Recommendation to Approve
CIOC Project No. SPP 210510-0652
ALLC Project No. 16007-2-198

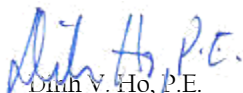
Dear Mr. Winter;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the third submittal for Sterling Lakes North Section 6 Preliminary Plat, previously submitted as Sterling Lakes North Section 9, received on or about July 28, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance dated August 2002 and as amended.

Based upon our review, we have no objections to the preliminary plat as resubmitted on July 28, 2021. Please submit ten (10) folded copies of the plat to Kayleen Rosser, City Secretary, by no later than Thursday, July 29th, for consideration at the August 3, 2021, Planning and Zoning Commission meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC


Dinh V. Ho, P.E.
TBPE Firm No. 16423

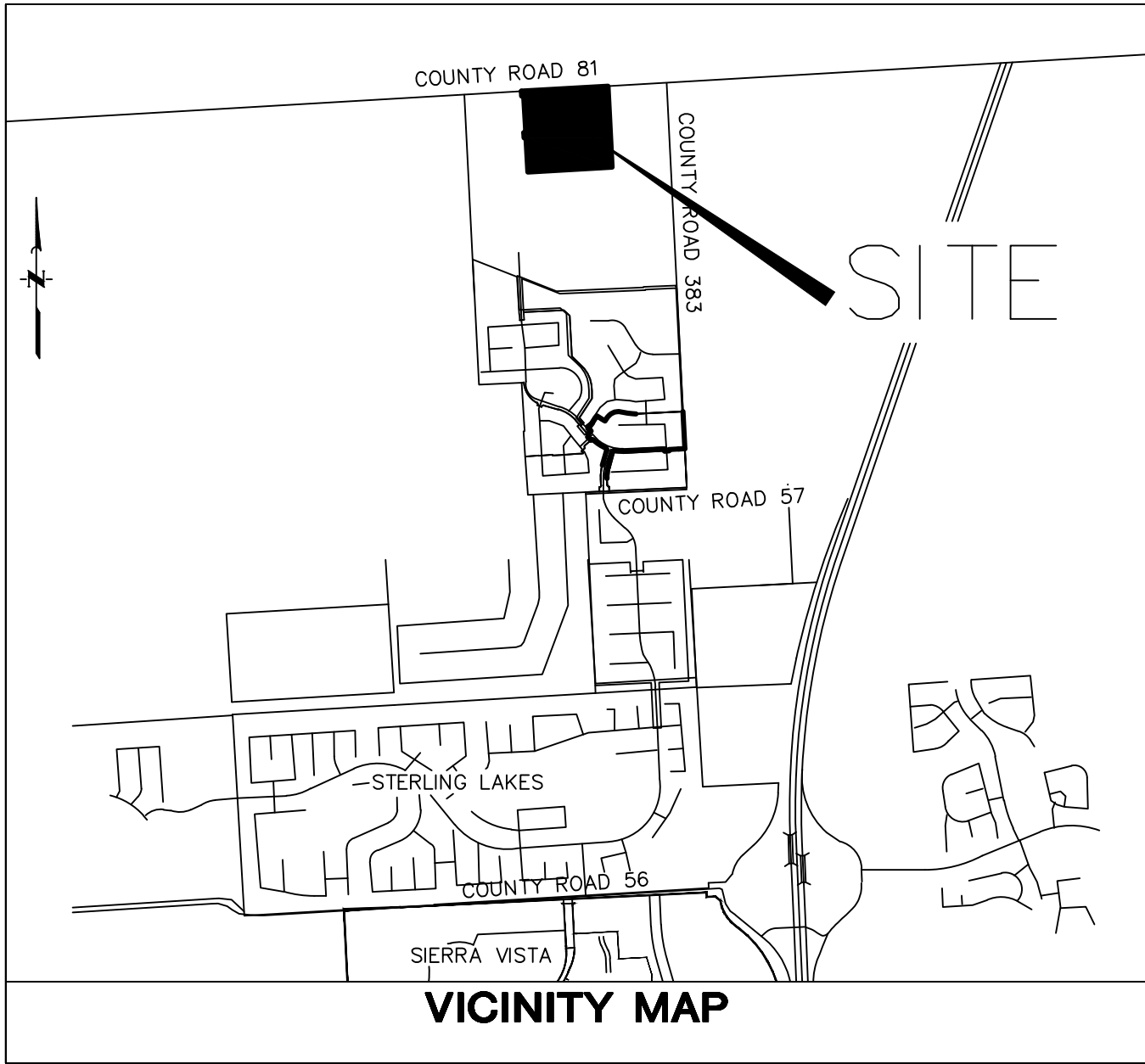
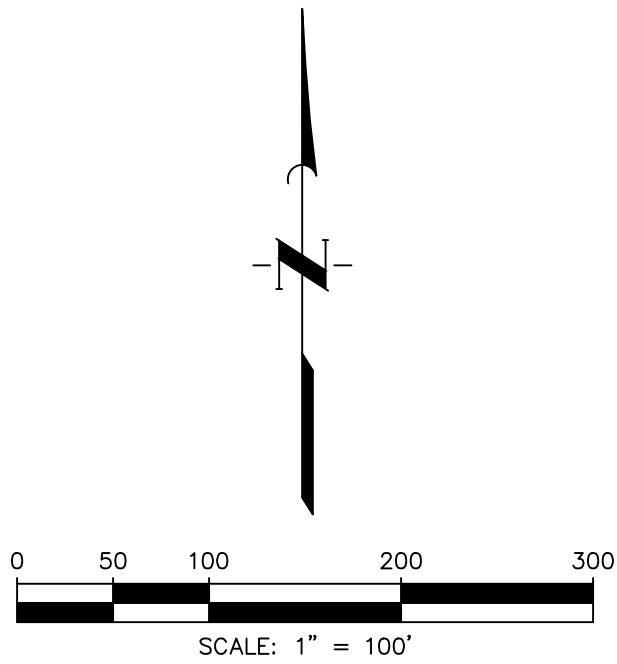
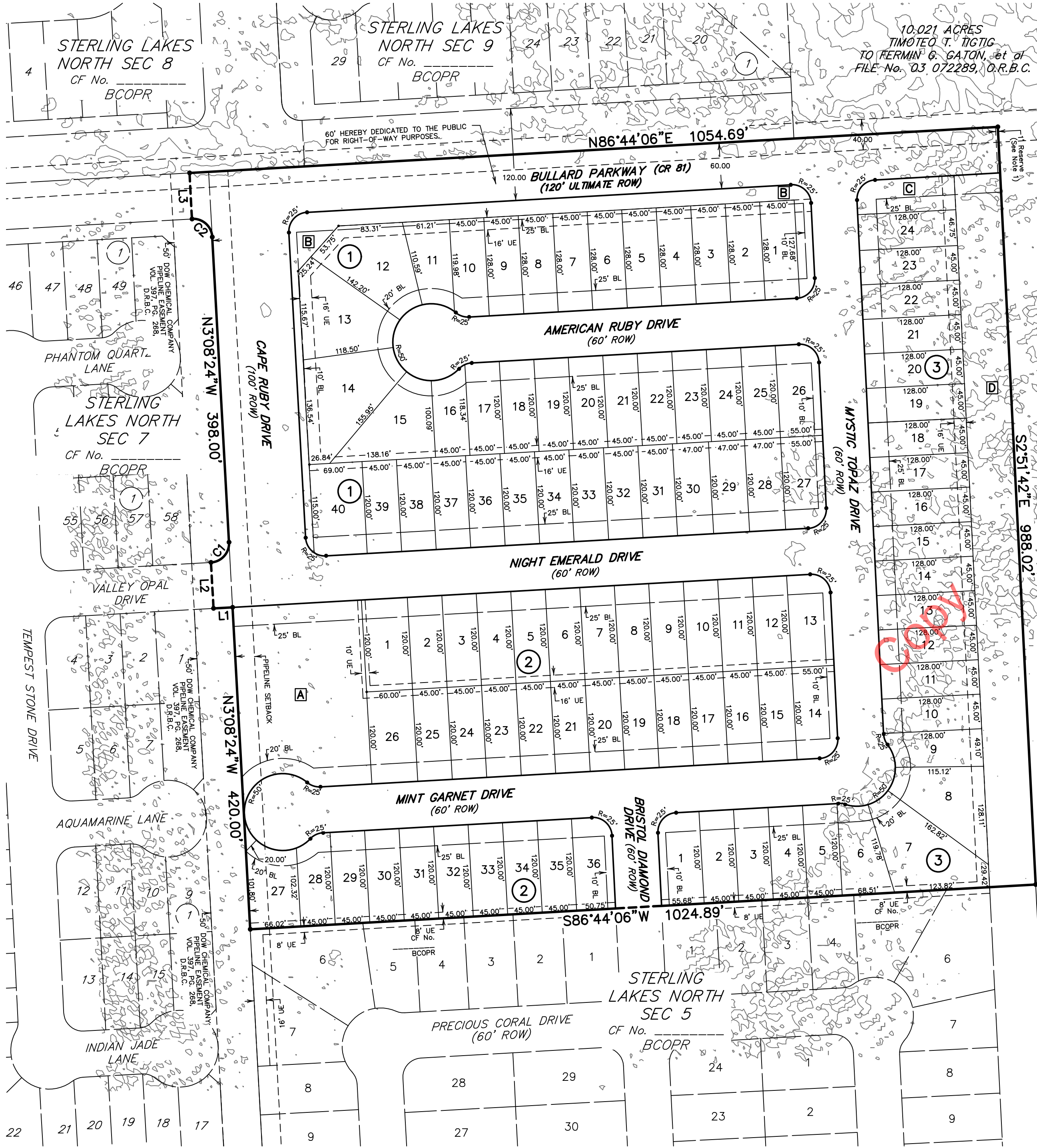
Cc: Kayleen Rosser, City Secretary (krosser@iowacolonytx.gov)
Robert Hemminger, City Manager, (rhemminger@iowacolonytx.gov)
Ron Cox, (rcox@roncoxconsulting.com)
File: 16007-2-198

RESTRICTED RESERVE [A]
Restricted to Landscape, Open
Space & Utility Purposes Only
0.9073 AC
39,523 Sq Ft

RESTRICTED RESERVE [B]
Restricted to Landscape, Open
Space & Utility Purposes Only
0.4933 AC
21,490 Sq Ft

RESTRICTED RESERVE [C]
Restricted to Landscape, Open
Space & Utility Purposes Only
0.1288 AC
5,525 Sq Ft

RESTRICTED RESERVE [D]
Restricted to Landscape, Open
Space & Drainage Purposes Only
1.278 AC
55,686 Sq Ft



NOTES

- Slab elevations (finished floor) shall be set at or above the minimum slab elevations defined in this plat.
- All drainage easements shown hereon shall be kept clear of fences, buildings, foundations, plantings and other obstructions to the operation and maintenance of drainage facilities.
- All property shall drain into the drainage easement only through an approved drainage structure.
- The property subdivided in the foregoing plat lies within Brazoria County Drainage District #5 and BCMUD No 31.
- This subdivision employs a drainage system, which utilizes streets and adjacent properties to store and convey storm water. Thus, during storm events, ponding of water should be expected to occur in the subdivision.
- Other than shown hereon, there are no pipeline easements, or pipelines within the boundaries of this plat.
- All storm water drainage pipes, culverts, or other (includes driveway culverts) will be a minimum 24" I.D. or equal.
- No Building Permits will be issued until all storm drainage improvements, which may include detention, have been constructed.
- Subdivision is located in Zone "AE" with no base flood base elevation required. This information is based on Brazoria County FIRM Community Map 48039C0115K, December 30, 2020.
- All bearings based on the Texas State Plane Coordinate System, South Central Zone.
- All coordinates shown hereon are surface and may be converted to the Texas State Plane Coordinate System, South Central Zone, NAD 83 Grid Coordinates by applying the following scale factor: 0.99986213
- Monuments set as exterior boundary markers will be set with a minimum of five eights (5/8) inch iron rod or three quarters (3/4) inch iron pipe at least thirty six (36) inches long, encased in concrete for a minimum of eighteen inches below the surface of the ground.
- All permanent reference monuments ("PRM") will be set at all boundary line angle points, block corners, angle points, points of curvature, and at intervals not to exceed one thousand (1,000) feet. Permanent reference monuments shall conform to the Texas professional land surveying practices act and the general rules of procedures and practices.
- All monuments will be set to the standard of the Texas society of professional land surveying practices act and the general rules of procedures and practices of the Texas board of professional land surveying and shall bear reference caps as indicated.
- Interior lot corner monuments will be set with a minimum of five eights (5/8) inch iron rod at least thirty six (36) inches in length.
- All water and wastewater facilities shall conform to the the City of Iowa Colony EDCM.
- All offsite easements to be dedicated by separate instrument.
- No pipeline or pipeline easement exists within the boundaries of this plat.
- Structures built on lots in the designated flood plain must be elevated to the F.E.M.A. Base Flood Elevation No building permits will be issued in a floodway below the base flood elevation (B.F.E.). Contact the Flood Plain Administrator's Office for specific information.
- All utilities are subject to and shall be designed in accordance with the City of Iowa Colony EDCM.
- This plat is subject to the Development Agreement for Sierra Vista, as approved on February 15, 2016 and amended in June, 2018 and July 19, 2021.
- The approval of the preliminary plat shall expire twelve (12) months after City Council approval unless the final plat has been submitted for final approval during that time. An extension of time may be given at the discretion of the City Council for a single extension period of six (6) months.
- Bullard Parkway from the east property line of this section to Karsten Boulevard shall be improved prior to or simultaneous with this plat.


STERLING LAKES NORTH SEC 6

A SUBDIVISION OF 23.37 ACRES OF LAND
OUT OF THE
SECTION 57, H.T. & B.R.R. CO. SURVEY, A-289,
BRAZORIA COUNTY, TEXAS
100 LOTS 4 RESERVES 3 BLOCKS
JULY 2021

Line Table			Curve Table					
Line	Bearing	Distance	CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
L1	S86°44'06"W	24.81'	C1	25.00'	89°52'31"	39.22'	N41°47'51"E	35.32'
L2	N03°15'54"W	60.00'	C2	25.00'	90°07'29"	39.32'	N48°12'09"W	35.39'
L3	N03°05'17"W	60.00'						

ENGINEER:
PAPE-DAWSON ENGINEERS, INC.
10350 RICHMOND AVE.
STE 200
HOUSTON, TX 77042
713-428-2400

OWNER:
IOWA COLONY STERLING LAKES, LTD
2450 FONDREN ROAD
STE 210
HOUSTON, TX 77063
713-783-6702

PLANNER/SURVEYOR:
 **JONES CARTER**
Texas Board of Professional Engineers Registration No. F-439
Texas Board of Professional Land Surveying Registration No. 288462-04
6330 West Loop South, Suite 150 • Houston, TX 77061 • 713.777.3337

Wednesday, July 28, 2021

Stan Winter
Jones Carter
1575 Sawdust Road, Suite 400
The Woodlands, TX 77380

Re: Sterling Lakes North Section 5 Preliminary Plat
Previously submitted as Sterling Lakes North Section 7
Letter of Recommendation to Approve
CIOC Project No. SPP 210510-0651
ALLC Project No. 16007-2-197

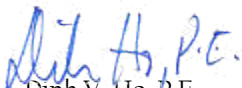
Dear Mr. Winter;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the third submittal for Sterling Lakes North Section 5 Preliminary Plat, previously submitted as Sterling Lakes North Section 7, received on or about July 28, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance dated August 2002 and as amended.

Based upon our review, we have no objections to the preliminary plat as resubmitted on July 28, 2021. Please submit ten (10) folded copies of the plat to Kayleen Rosser, City Secretary, by no later than Thursday, July 29th, for consideration at the August 3, 2021, Planning and Zoning Commission meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC

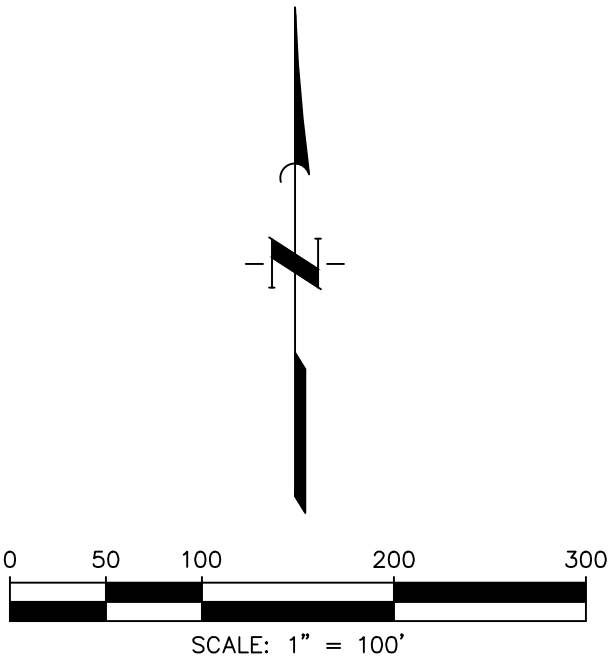

Dinh V. Ho, P.E.

TBPE Firm No. 16423

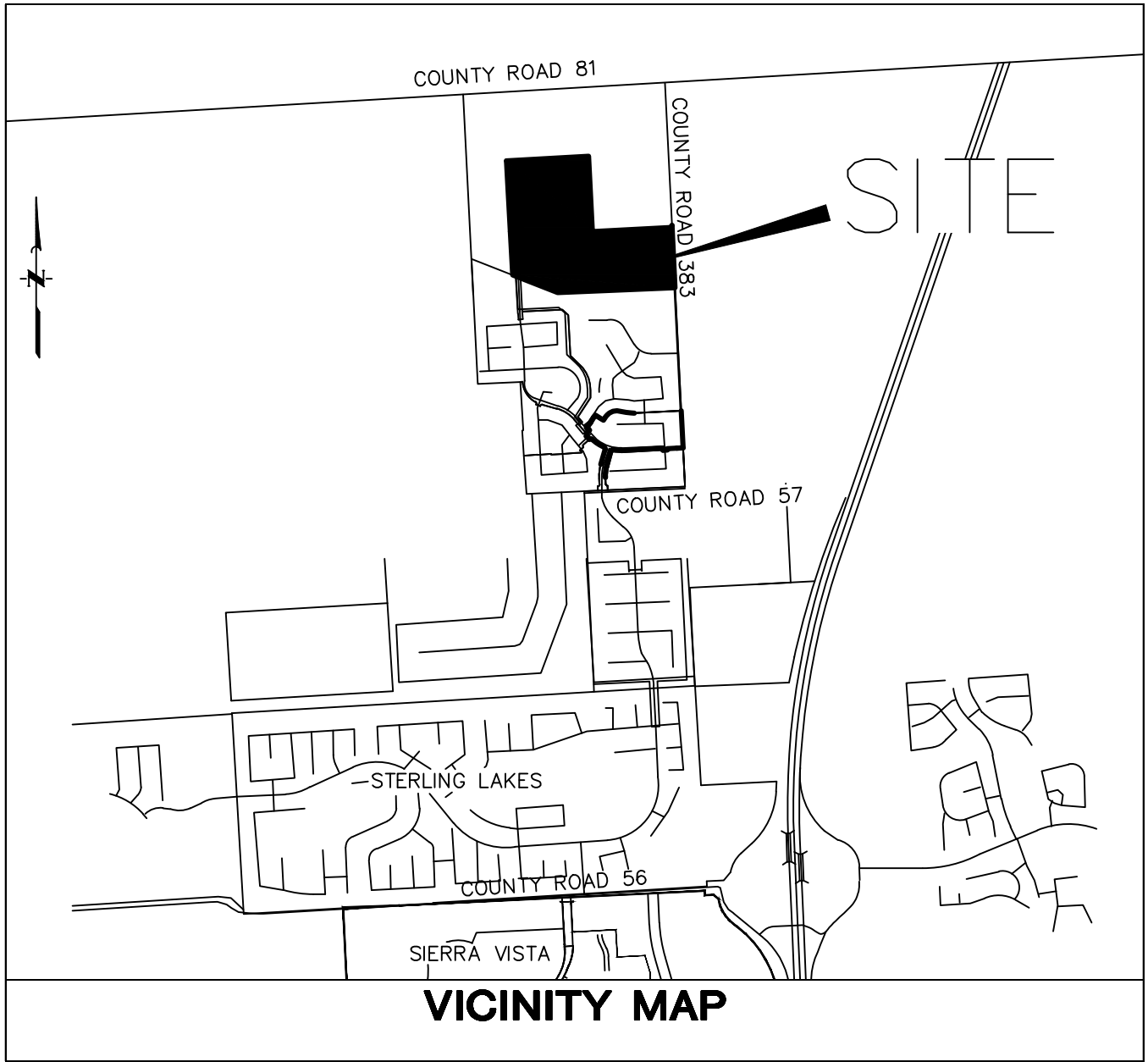
Cc: Kayleen Rosser, City Secretary (krusser@iowacolonytx.gov)
Robert Hemminger, City Manager, (rhemminger@iowacolonytx.gov)
Ron Cox, (rcox@roncoxconsulting.com)
File: 16007-2-197



Curve Table					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	25.00'	89°59'59"	39.27'	N42°08'03"E	35.36'
C2	25.00'	89°35'28"	39.09'	N41°56'23"E	35.23'
C3	25.00'	27°03'01"	11.80'	S79°44'23"E	11.69'
C4	50.00'	156°05'04"	136.21'	S35°44'35"W	97.83'
C5	25.00'	39°09'32"	17.09'	N22°43'10"W	16.76'
C6	25.00'	24°26'24"	10.66'	N09°04'48"E	10.58'
C7	50.00'	260°38'30"	227.45'	N70°58'45"E	76.24'
C8	25.00'	56°12'06"	24.52'	S31°14'27"E	23.55'
C9	25.00'	89°52'31"	39.22'	S41°47'51"W	35.32'
C10	25.00'	90°24'32"	39.45'	N48°03'37"W	35.48'
C11	85.00'	70°42'42"	104.90'	S38°12'42"E	98.37'
C12	85.00'	19°17'54"	28.63'	S83°13'00"E	28.49'
C13	25.00'	90°00'00"	39.27'	N47°51'57"W	35.36'
C14	25.00'	90°00'36"	39.27'	S47°51'39"E	35.36'
C15	25.00'	43°33'53"	19.01'	S18°55'35"W	18.55'
C16	50.00'	165°56'56"	144.82'	N42°15'57"W	99.25'
C17	25.00'	31°58'31"	13.95'	N70°44'51"E	13.77'
C18	25.00'	90°24'32"	39.45'	S48°03'37"E	35.48'
C19	25.00'	89°35'28"	39.09'	S41°56'23"W	35.23'
C20	25.00'	90°24'32"	39.45'	N48°03'37"W	35.48'
C21	25.00'	89°59'24"	39.27'	N42°08'21"E	35.35'
C22	25.00'	19°17'54"	8.42'	S83°13'00"E	8.38'
C23	25.00'	70°42'42"	30.85'	S38°12'42"E	28.93'



RESTRICTED RESERVE B
Restricted to Landscape, Utility
& Drainage Purposes Only
1.29 AC
56,370 Sq Ft



- NOTES**
- Slab elevations (finished floor) shall be set at or above the minimum slab elevations defined in this plat.
 - All drainage easements shown hereon shall be kept clear of fences, buildings, foundations, plantings and other obstructions to the operation and maintenance of drainage facilities.
 - All property shall drain into the drainage easement only through an approved drainage structure.
 - The property subdivided in the foregoing plat lies within Brazoria County Drainage District #5 and BCMUD No 31.
 - This subdivision employs a drainage system, which utilizes streets and adjacent properties to store and convey storm water. Thus, during storm events, ponding of water should be expected to occur in the subdivision.
 - Other than shown hereon, there are no pipeline easements, or pipelines within the boundaries of this plat.
 - All storm water drainage pipes, culverts, or other (includes driveway culverts) will be a minimum 24" I.D. or equal.
 - No Building Permits will be issued until all storm drainage improvements, which may include detention, have been constructed.
 - Subdivision is located in Zone "AE" with no base flood base elevation required. This information is based on Brazoria County FIRM Community Map 48039C0115K, December 30, 2020.
 - All bearings based on the Texas State Plane Coordinate System, South Central Zone.
 - All coordinates shown hereon are surface and may be converted to the Texas State Plane Coordinate System, South Central Zone, NAD 83 Grid Coordinates by applying the following scale factor: 0.99986213
 - Monuments set as exterior boundary markers will be set with a minimum of five eights (5/8) inch iron rod or three quarters (3/4) inch iron pipe at least thirty six (36) inches long, encased in concrete for a minimum of eighteen inches below the surface of the ground.
 - All permanent reference monuments ("PRM") will be set at all boundary line angle points, block corners, angle points, points of curvature, and at intervals not to exceed one thousand (1,000) feet. Permanent reference monuments shall conform to the Texas professional land surveying practices act and the general rules of procedures and practices.
 - All monuments will be set to the standard of the Texas society of professional land surveying practices act and the general rules of procedures and practices of the Texas board of professional land surveying and shall bear reference caps as indicated.
 - Interior lot corner monuments will be set with a minimum of five eights (5/8) inch iron rod at least thirty six (36) inches in length.
 - All water and wastewater facilities shall conform to the the City of Iowa Colony EDCM.
 - All offsite easements to be dedicated by separate instrument.
 - No pipeline or pipeline easement exists within the boundaries of this plat.
 - Structures built on lots in the designated flood plain must be elevated to the F.E.M.A. Base Flood Elevation No building permits will be issued in a floodway below the base flood elevation (B.F.E.). Contact the Flood Plain Administrator's Office for specific information.
 - All utilities are subject to and shall be designed in accordance with the City of Iowa Colony EDCM.
 - This plat is subject to the Development Agreement for Sierra Vista, as approved on February 15, 2016 and amended in June, 2018 and July 19, 2021
 - The approval of the preliminary plat shall expire twelve (12) months after City Council approval unless the final plat has been submitted for final approval during that time. An extension of time may be given at the discretion of the City Council for a single extension period of six (6) months.
 - Sterling Lakes North Sec 6 must be recorded prior to or simultaneous with this plat.

**STERLING LAKES
NORTH
SEC 5**
A SUBDIVISION OF 51.79 ACRES OF LAND
OUT OF THE
SECTION 57, H.T. & B.R.R. CO. SURVEY, A-289,
BRAZORIA COUNTY, TEXAS
83 LOTS 2 RESERVES 3 BLOCKS
JULY 2021

ENGINEER:
PAPE-DAWSON ENGINEERS, INC.
10350 RICHMOND AVE.
STE 200
HOUSTON, TX 77042
713-428-2400

OWNER:
IOWA COLONY STERLING LAKES, LTD
2450 FONDREN ROAD
STE 210
HOUSTON, TX 77063
713-783-6702

PLANNER/SURVEYOR:
JC JONES CARTER
Texas Board of Professional Engineers Registration No. F-439
Texas Board of Professional Land Surveying Registration No. 28845-04
6330 West Loop South, Suite 150 • Houston, TX 77061 • 713.777.5337

Wednesday, July 28, 2021

Stan Winter
Jones Carter
1575 Sawdust Road, Suite 400
The Woodlands, TX 77380

Re: Sterling Lakes North Section 4 Preliminary Plat
Previously submitted as Sterling Lakes North Section 5
Letter of Recommendation to Approve
CIOC Project No. SPP 210510-0650
ALLC Project No. 16007-2-196

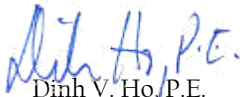
Dear Mr. Winter;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the third submittal for Sterling Lakes North Section 4 Preliminary Plat, previously submitted as Sterling Lakes North Section 5, received on or about July 28, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance dated August 2002 and as amended.

Based upon our review, we have no objections to the preliminary plat as resubmitted on July 28, 2021. Please submit ten (10) folded copies of the plat to Kayleen Rosser, City Secretary, by no later than Thursday, July 29th, for consideration at the August 3, 2021, Planning and Zoning Commission meeting.

Should you have any questions, please do not hesitate to call our office.

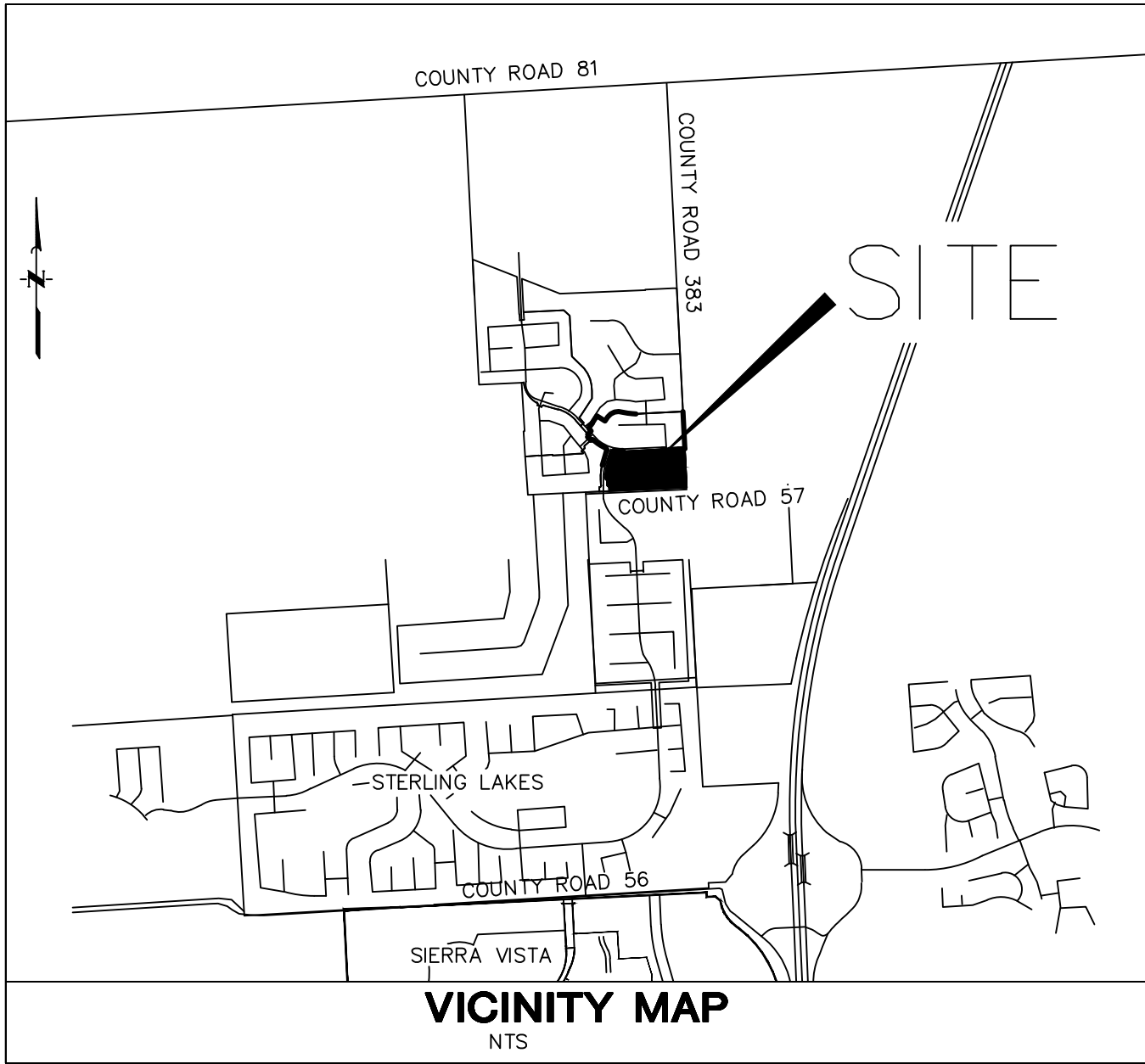
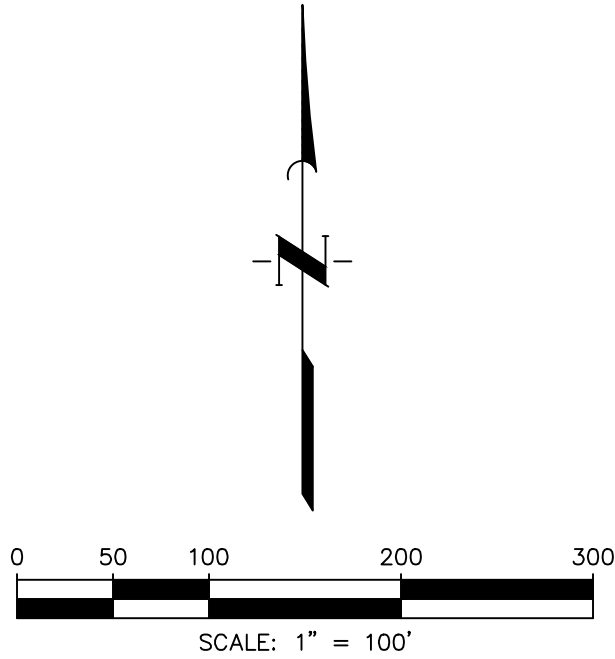
Sincerely,
Adico, LLC



Dinh V. Ho, P.E.
TBPE Firm No. 16423

Cc: Kayleen Rosser, City Secretary (krosser@iowacolonytx.gov)
Robert Hemminger, City Manager, (rhemminger@iowacolonytx.gov)
Ron Cox, (rcox@roncoxconsulting.com)
File: 16007-2-196

RESTRICTED RESERVE [A]
Restricted to Recreation,
Landscape & Open Space
Purposes Only
1.29 AC
56,104 Sq Ft



NOTES

- One-foot reserve dedicated for buffer purposes to the public in fee as a buffer separation between the side or end of street where such streets abut adjacent property, the condition of such dedication being that when the adjacent property is subdivided or re-subdivided in a recorded plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicant, his heirs, assigns or successors.
- Slab elevations (finished floor) shall be set at or above the minimum slab elevations defined in this plat.
- All drainage easements shown hereon shall be kept clear of fences, buildings, foundations, plantings and other obstructions to the operation and maintenance of drainage facilities.
- All property shall drain into the drainage easement only through an approved drainage structure.
- The property subdivided in the foregoing plat lies within Brazoria County Drainage District #5
- This subdivision employs a drainage system, which utilizes streets and adjacent properties to store and convey storm water. Thus, during storm events, ponding of water should be expected to occur in the subdivision.
- Other than shown hereon, there are no pipeline easements, or pipelines within the boundaries of this plat.
- All storm water drainage pipes, culverts, or other (includes driveway culverts) will be a minimum 24" I.D. or equal.
- No Building Permits will be issued until all storm drainage improvements, which may include detention, have been constructed.
- Subdivision is located in Zone "X" with no base flood base elevation required. This information is based on Brazoria County FIRM Community Map 48039C0110K, December 30, 2020.
- All bearings based on the Texas State Plane Coordinate System, South Central Zone.
- All coordinates shown hereon are surface and may be converted to the Texas State Plane Coordinate System, South Central Zone, NAD 83 Grid Coordinates by applying the following scale factor: 0.99986213
- Monuments set as exterior boundary markers will be set with a minimum of five eights (5/8) inch iron rod or three quarters (3/4) inch iron pipe at least thirty six (36) inches long, encased in concrete for a minimum of eighteen inches below the surface of the ground.
- All permanent reference monuments (PRM) will be set at all boundary line angle points, block corners, angle points, points of curvature, and at intervals not to exceed one thousand (1,000) feet. Permanent reference monuments shall conform to the Texas professional land surveying practices act and the general rules of procedures and practices.
- All monuments will be set to the standard of the Texas society of professional land surveying practices act and the general rules of procedures and practices of the Texas board of professional land surveying and shall bear reference caps as indicated.
- Interior lot corner monuments will be set with a minimum of five eights (5/8) inch iron rod at least thirty six (36) inches in length.
- All streets shall be constructed in accordance with the Brazoria County Subdivision Regulations and shall be designed in accordance with Iowa Colony EDM.
- All water and wastewater facilities shall conform to the State and County's design criteria.
- All offsite easements to be dedicated by separate instrument.
- All pipelines and pipeline easements within the platted are hereon.
- Structures built on lots in the designated flood plain must be elevated to the F.E.M.A. Base Flood Elevation No building permits will be issued in a floodway below the base flood elevation (B.F.E.). Contact the Flood Plain Administrator's Office for specific information.
- This plat is subject to the Development Agreement for Sierra Vista, as approved on February 15, 2016 and amended in June, 2018 and July 19, 2021

STERLING LAKES NORTH SEC 4

A SUBDIVISION OF 13.36 ACRES OF LAND
OUT OF THE

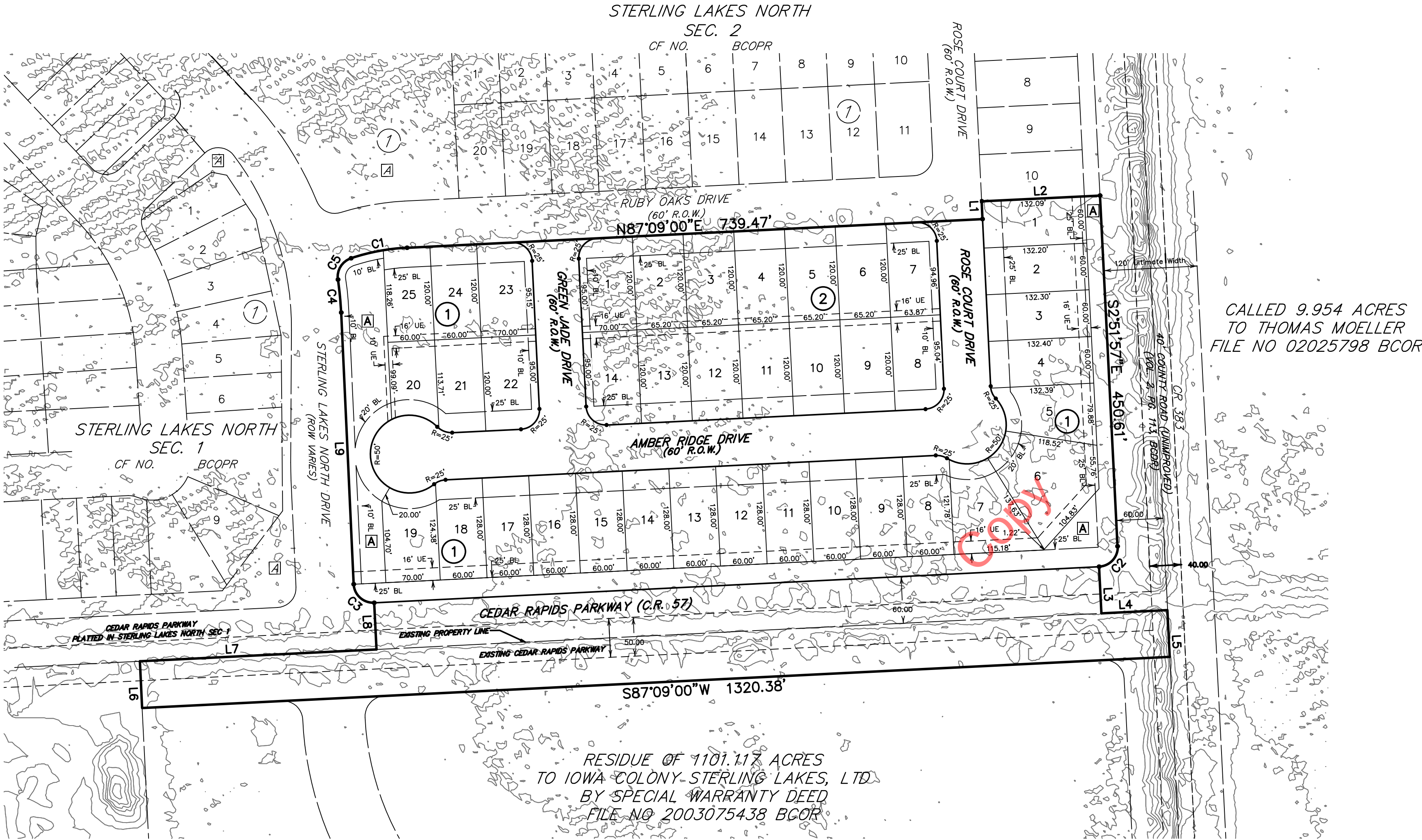
SECTION 57, H.T. & B.R.R. CO. SURVEY, A-289,
BRAZORIA COUNTY, TEXAS

39 LOTS 1 RESERVE 2 BLOCKS
JULY 2021

ENGINEER:
PAPE-DAWSON ENGINEERS, INC.
10350 RICHMOND AVE.
STE 200
HOUSTON, TX 77042
713-428-2400

OWNER:
IOWA COLONY STERLING LAKES, LTD
2450 FONDREN ROAD
STE 210
HOUSTON, TX 77063
713-783-6702

SURVEYOR/PLANNER:
J.C. JONES & CARTER
Iowa Board of Professional Engineers Registration No. 6-433
8703 New Trails Drive, Suite 200 • The Woodlands, Texas 77381
361.363.4833



Line Table		
Line	Bearing	Distance
L1	N02°46'08"W	22.83'
L2	N87°13'52"E	152.09'
L3	S02°51'06"E	60.00'
L4	N87°09'00"E	84.81'
L5	S02°51'00"E	60.00'
L6	S02°49'58"E	60.00'
L7	S87°09'00"W	304.03'
L8	S02°51'00"E	60.00'

Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	270.00'	15°32'16"	73.22'	S79°22'51"W	73.00'	36.84'
C2	25.00'	90°00'57"	39.28'	N42°08'31"E	35.36'	25.01'
C3	25.00'	90°11'55"	39.36'	S47°45'03"E	35.42'	25.09'
C4	430.00'	5°40'52"	42.64'	N05°29'32"W	42.62'	21.34'
C5	25.00'	79°56'41"	34.88'	S31°38'23"W	32.12'	20.96'

Wednesday, July 28, 2021

Stan Winter
Jones Carter
1575 Sawdust Road, Suite 400
The Woodlands, TX 77380

**Re: Sterling Lakes North Section 3 Preliminary Plat
Previously Submitted as Sterling Lakes North Section 2
Letter of Recommendation to Approve
CIOC Project No. SPP 210510-0649
ALLC Project No. 16007-2-195**

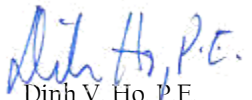
Dear Mr. Winter;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the third submittal for Sterling Lakes North Section 3 Preliminary Plat, previously submitted as Sterling Lakes North Section 2, received on or about July 28, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance dated August 2002 and as amended.

Based upon our review, we have no objections to the preliminary plat as resubmitted on July 28, 2021. Please submit ten (10) folded copies of the plat to Kayleen Rosser, City Secretary, by no later than Thursday, July 29th, for consideration at the August 3, 2021, Planning and Zoning Commission meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC



Dinh V. Ho, P.E.
TBPE Firm No. 16423

Cc: Kayleen Rosser, City Secretary (krosser@iowacolonytx.gov)
Robert Hemminger, City Manager, (rhemminger@iowacolonytx.gov)
Ron Cox, (rcox@roncoxconsulting.com)
File: 16007-2-195

RESTRICTED RESERVE [A]
Restricted to Landscape &
Open Space Purposes Only
1.32 AC
57,794 Sq Ft

RESTRICTED RESERVE [B]
Restricted to Landscape &
Open Space Purposes Only
0.09 AC
4,046 Sq Ft

RESTRICTED RESERVE [C]
Restricted to Landscape &
Open Space Purposes Only
0.47 AC
20,730 Sq Ft

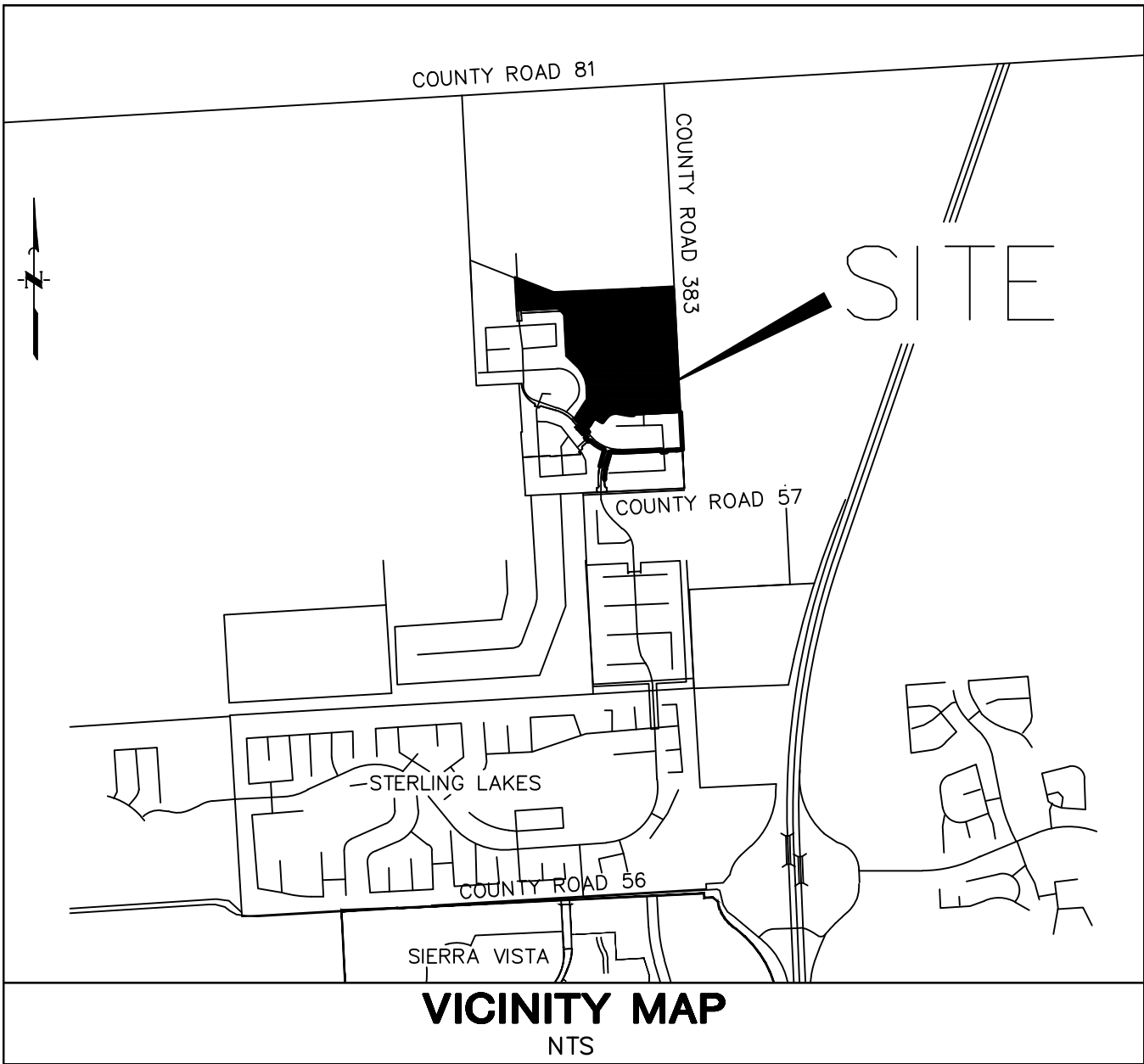
RESTRICTED RESERVE [D]
Restricted to Landscape &
Open Space Purposes Only
0.14 AC
6,032 Sq Ft

RESTRICTED RESERVE [E]
Restricted to Landscape &
Open Space Purposes Only
0.32 AC
14,268 Sq Ft

RESTRICTED RESERVE [F]
Restricted to Landscape &
Open Space Purposes Only
0.15 AC
6,585 Sq Ft

RESTRICTED RESERVE [G]
Restricted to Landscape &
Open Space Purposes Only
0.12 AC
5,284 Sq Ft

RESTRICTED RESERVE [H]
Restricted to Landscape &
Open Space Purposes Only
0.06 AC
2,828 Sq Ft



NOTES

- One-foot reserve dedicated for buffer purposes to the public in fee as a buffer separation between the side or end of street where such streets abut adjacent property, the condition of such dedication being that when the adjacent property is subdivided or re-subdivided in a recorded plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicatior, his heirs, assigns or successors.
- Slab elevations (finished floor) shall be set at or above the minimum slab elevations defined in this plat.
- All drainage easements shown hereon shall be kept clear of fences, buildings, foundations, plantings and other obstructions to the operation and maintenance of drainage facilities.
- All property shall drain into the drainage easement only through an approved drainage structure.
- The property subdivided in the foregoing plat lies within Brazoria County Drainage District #5 and BCMUD No 31.
- This subdivision employs a drainage system, which utilizes streets and adjacent properties to store and convey storm water. Thus, during storm events, ponding of water should be expected to occur in the subdivision.
- Other than shown hereon, there are no pipeline easements, or pipelines within the boundaries of this plat.
- All storm water drainage pipes, culverts, or other (includes driveway culverts) will be a minimum 24" I.D. or equal.
- No Building Permits will be issued until all storm drainage improvements, which may include detention, have been constructed.
- Subdivision is located in Zone "AE" with no base flood base elevation required. This information is based on Brazoria County FIRM Community Map 48039C0115K, December 30, 2020.
- All bearings based on the Texas State Plane Coordinate System, South Central Zone.
- All coordinates shown hereon are surface and may be converted to the Texas State Plane Coordinate System, South Central Zone, NAD 83 Grid Coordinates by applying the following scale factor: 0.99986213.
- Monuments set as exterior boundary markers will be set with a minimum of five eights (5/8) inch iron rod or three quarters (3/4) inch iron pipe at least thirty six (36) inches long, encased in concrete for a minimum of eighteen inches below the surface of the ground.
- All permanent reference monuments (PRM) will be set at all boundary line angle points, block corners, angle points, points of curvature, and at intervals not to exceed one thousand (1,000) feet. Permanent reference monuments shall conform to the Texas professional land surveying practices act and the general rules of procedures and practices.
- All monuments will be set to the standard of the Texas society of professional land surveying practices act and the general rules of procedures and practices of the Texas board of professional land surveying and shall bear reference caps as indicated.
- Interior lot corner monuments will be set with a minimum of five eights (5/8) inch iron rod at least thirty six (36) inches in length.
- All water and wastewater facilities shall conform to the the City of Iowa Colony EDM.
- All offsite easements to be dedicated by separate instrument.
- No pipeline or pipeline easement exists within the boundaries of this plat.
- Structures built on lots in the designated flood plain must be elevated to the F.E.M.A. Base Flood Elevation No building permits will be issued in a floodway below the base flood elevation (B.F.E.). Contact the Flood Plain Administrator's office for specific information.
- All utilities are subject to and shall be designed in accordance with the City of Iowa Colony EDM.
- This plat is subject to the Development Agreement for Sierra Vista, as approved on February 15, 2016 and amended in June, 2018 and July 19, 2021.
- The approval of the preliminary plat shall expire twelve (12) months after City Council approval unless the final plat has been submitted for final approval during that time. An extension of time may be given at the discretion of the City Council for a single extension period of six (6) months.

STERLING LAKES NORTH SEC 3

A SUBDIVISION OF 27.67 ACRES OF LAND
OUT OF THE
SECTION 57, H.T. & B.R.R. CO. SURVEY, A-289,
BRAZORIA COUNTY, TEXAS
96 LOTS 8 RESERVES 4 BLOCKS
JULY 2021

ENGINEER:
PAPE-DAWSON ENGINEERS, INC.
10350 RICHMOND AVE.
STE 200
HOUSTON, TX 77042
713-428-2400

OWNER:
IOWA COLONY STERLING LAKES, LTD
2450 FONDREN ROAD
STE 210
HOUSTON, TX 77063
713-783-6702

SURVEYOR/PLANNER:
J.C. JONES CARTER
Texas Board of Professional Engineers Registration No. F-418
8701 New Trails Drive, Suite 200 • The Woodlands, Texas 77381
281.363.4639

Line Table		
Line	Bearing	Distance
L1	N82°29'47"E	209.76'
L2	N86°00'47"E	58.64'
L3	S85°52'01"E	76.73'
L4	S76°39'36"E	76.73'
L5	S67°27'11"E	76.73'
L6	S58°14'46"E	76.73'
L7	S49°02'22"E	76.73'
L8	S39°49'57"E	76.73'
L9	S33°44'05"E	63.02'
L10	S33°32'52"E	180.00'
L11	S49°28'58"E	99.54'
L12	S86°41'09"E	106.62'
L13	N87°09'23"E	205.27'
L14	S02°51'42"E	908.18'
L15	N87°09'00"E	697.07'
L16	S53°12'30"E	339.76'
L17	N36°47'30"E	390.94'
L18	N43°00'21"W	91.19'
L19	N36°47'30"E	270.29'
L20	N41°35'07"E	104.89'
L21	N06°13'51"E	108.43'
L22	N41°17'32"E	259.68'
L23	N28°37'54"W	120.04'
L24	N31°35'07"W	120.04'
L25	N48°23'11"W	63.16'
L26	N48°23'11"W	51.64'
L27	N20°58'32"W	75.94'
L28	N15°39'56"E	20.00'
L29	N56°41'53"W	20.00'
L30	N14°55'53"W	125.31'

Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	25.00'	100°12'09"	43.72'	N86°53'35"E	38.36'	29.90'
C2	50.00'	107°38'11"	93.93'	S20°30'58"E	80.71'	68.36'

Wednesday, July 28, 2021

Stan Winter
Jones Carter
1575 Sawdust Road, Suite 400
The Woodlands, TX 77380

Re: Sterling Lakes North Section 2 Preliminary Plat
Previously submitted as Sterling Lakes North Section One from Jones and Carter
Letter of Recommendation to Approve
CIOC Project No. SPP 210510-0648
ALLC Project No. 16007-2-194

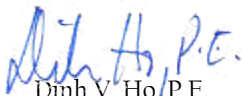
Dear Mr. Winter;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the third submittal for Sterling Lakes North Section 2 Preliminary Plat, previously submitted as Sterling Lakes North Section One from Jones and Carter, received on or about July 28, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance dated August 2002 and as amended.

Based upon our review, we have no objections to the preliminary plat as resubmitted on July 28, 2021. Please submit ten (10) folded copies of the plat to Kayleen Rosser, City Secretary, by no later than Thursday, July 29th, for consideration at the August 3, 2021 Planning and Zoning Commission meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC



Dinh V. Ho, P.E.
TBPE Firm No. 16423

Cc: Kayleen Rosser, City Secretary (krosser@iowacolonytx.gov)
Robert Hemminger, City Manager, (rhemminger@iowacolonytx.gov)
Ron Cox, (rcox@roncoxconsulting.com)
File: 16007-2-194

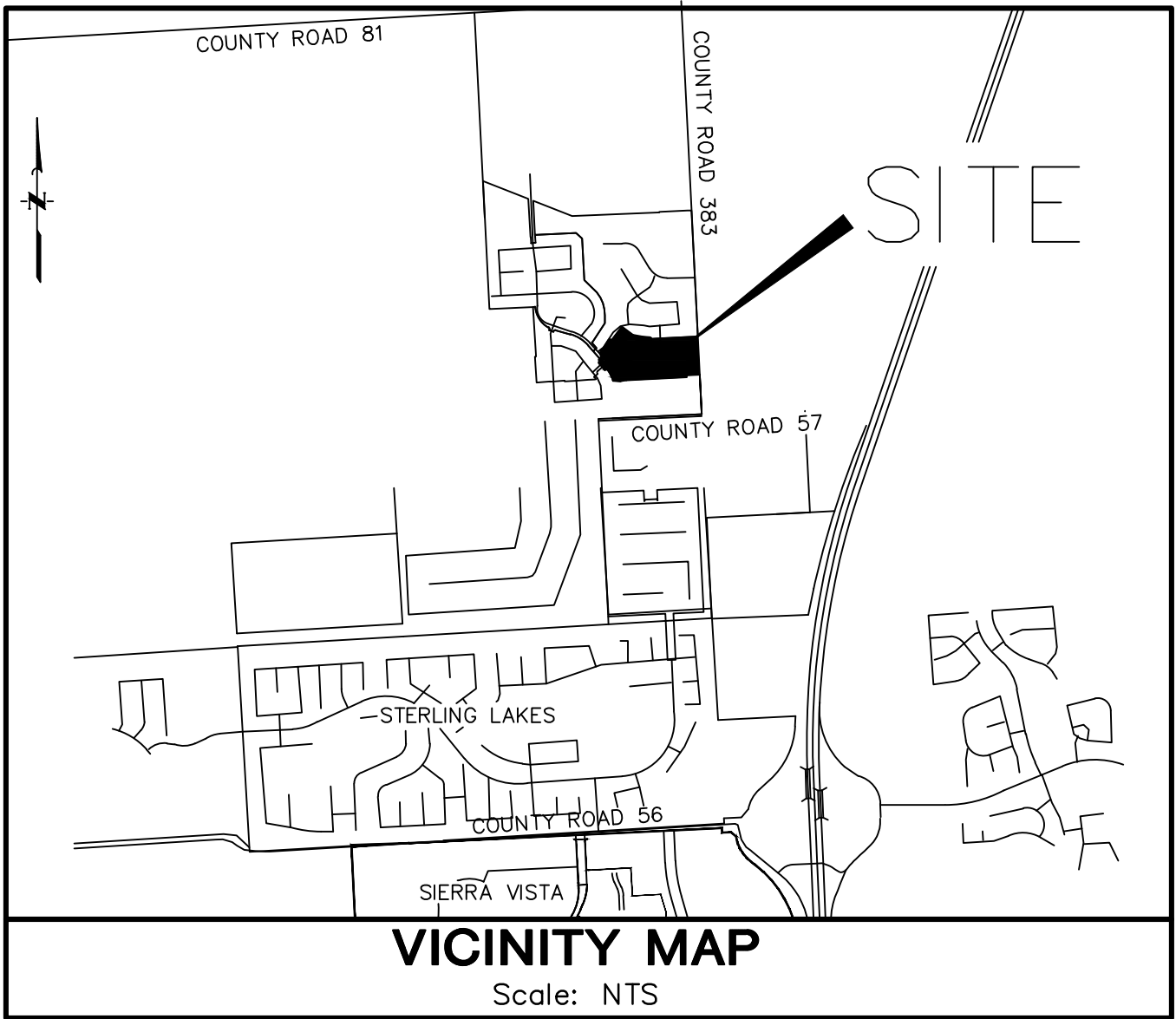
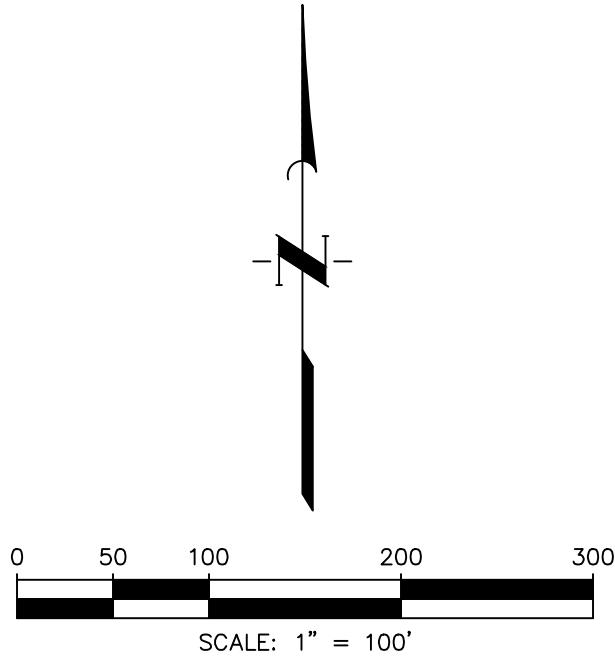
- A RESTRICTED RESERVE "A"**
Restricted to Recreation,
Landscape, Incidental Utilities &
Open Space
Purposes Only
2.50 AC
108,875 SQ FT
- B RESTRICTED RESERVE "B"**
Restricted to Landscape,
Open Space & Incidental
Utility Purposes Only
0.12 AC
5,285 SQ FT
- C RESTRICTED RESERVE "C"**
Restricted to Landscape,
Open Space & Incidental
Utility Purposes Only
0.21 AC
9,147 SQ FT

Line Table		
Line	Bearing	Distance
L1	S87°13'52"W	152.09'
L2	S02°46'08"E	22.83'
L3	N43°00'21"W	256.03'

Curve Table					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH TANGENT
C1	25.00'	100°12'09"	43.72'	N86°53'35"E	38.36' 29.90'
C2	270.00'	15°32'16"	73.22'	S79°22'51"W	73.00' 36.84'
C3	25.00'	79°56'41"	34.88'	S31°38'23"W	32.12' 20.96'
C4	430.00'	34°40'23"	260.22'	N25°40'09"W	256.27' 134.23'
C5	25.00'	79°47'51"	34.82'	S03°06'25"E	32.07' 20.90'
C6	25.00'	90°00'00"	39.27'	S81°47'30"W	35.36' 25.00'
C7	25.00'	90°00'00"	39.27'	S08°12'30"E	35.36' 25.00'
C8	170.00'	39°38'31"	117.62'	S73°01'45"E	115.29' 61.27'
C9	230.00'	39°38'31"	159.13'	S73°01'45"E	155.98' 82.90'
C10	25.00'	90°00'00"	39.27'	N42°09'00"E	35.36' 25.00'
C11	25.00'	90°00'00"	39.27'	S47°51'00"E	35.36' 25.00'
C12	85.00'	10°37'05"	15.75'	N87°32'28"W	15.73' 7.90'
C13	25.00'	35°21'27"	15.43'	N80°05'21"E	15.18' 7.97'
C14	50.00'	153°40'51"	134.11'	N40°44'57"W	97.37' 213.85'
C15	25.00'	38°51'36"	16.96'	S16°39'40"W	16.63' 8.82'
C16	25.00'	90°04'52"	39.31'	N47°48'34"W	35.38' 25.04'
C17	25.00'	89°55'08"	39.23'	N42°11'26"E	35.33' 24.96'
C18	330.00'	14°34'30"	83.95'	S79°51'44"W	83.72' 42.20'
C19	25.00'	85°11'33"	37.17'	S64°49'44"E	33.84' 22.99'



CALLLED 9.954 ACRES
TO THOMASS MOELLER
FILE NO 02025798 BCOR



General Notes

- One-foot reserve dedicated for buffer purposes to the public in fee as a buffer separation between the side or end of street where such streets abut adjacent property, the condition of such dedication being that when the adjacent property is subdivided or re-subdivided in a recorded plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs, assigns or successors.
- Slab elevations (finished floor) shall be set at or above the minimum slab elevations defined in this plat.
- All drainage easements shown hereon shall be kept clear of fences, buildings, foundations, plantings and other obstructions to the operation and maintenance of drainage facilities.
- All property shall drain into the drainage easement only through an approved drainage structure.
- The property subdivided in the foregoing plat lies within Brazoria County Drainage District #5 and BCMUD No 31.
- This subdivision employs a drainage system, which utilizes streets and adjacent properties to store and convey storm water. Thus, during storm events, ponding of water should be expected to occur in the subdivision.
- Other than shown hereon, there are no pipeline easements, or pipelines within the boundaries of this plat.
- All storm water drainage pipes, culverts, or other (includes driveway culverts) will be a minimum 24" I.D. or equal.
- No Building Permits will be issued until all storm drainage improvements, which may include detention, have been constructed.
- Subdivision is located in Zone "AE" with no base flood base elevation required. This information is based on Brazoria County FIRM Community Map 48039C0115K, December 30, 2020.
- All bearings based on the Texas State Plane Coordinate System, South Central Zone.
- All coordinates shown hereon are surface and may be converted to the Texas State Plane Coordinate System, South Central Zone, NAD 83 Grid Coordinates by applying the following scale factor: 0.99986213
- Monuments set as exterior boundary markers will be set with a minimum of five eights (5/8) inch iron rod or three quarters (3/4) inch iron pipe at least thirty six (36) inches long, encased in concrete for a minimum of eighteen inches below the surface of the ground.
- All permanent reference monuments (PRM) will be set at all boundary line angle points, block corners, angle points, points of curvature, and at intervals not to exceed one thousand (1,000) feet. Permanent reference monuments shall conform to the Texas professional land surveying practices act and the general rules of procedures and practices.
- All monuments will be set to the standard of the Texas society of professional land surveying practices act and the general rules of procedures and practices of the Texas board of professional land surveying and shall bear reference caps as indicated.
- Interior lot corner monuments will be set with a minimum of five eights (5/8) inch iron rod at least thirty six (36) inches in length.
- All water and wastewater facilities shall conform to the the City of Iowa Colony EDCM.
- All offsite easements to be dedicated by separate instrument.
- No pipeline or pipeline easement exists within the boundaries of this plat.
- Structures built on lots in the designated flood plain must be elevated to the F.E.M.A. Base Flood Elevation No building permits will be issued in a floodway below the base flood elevation (B.F.E.). Contact the Flood Plain Administrator's Office for specific information.
- All utilities are subject to and shall be designed in accordance with the City of Iowa Colony EDCM.
- This plat is subject to the Development Agreement for Sierra Vista, as approved on February 15, 2016 and amended June, 2018 and July 19, 2021.
- The approval of the preliminary plat shall expire twelve (12) months after City Council approval unless the final plat has been submitted for final approval during that time. An extension of time may be given at the discretion of the City Council for a single extension period of six (6) months.

STERLING LAKES NORTH SEC 2

A SUBDIVISION OF 13.22 ACRES OF LAND
OUT OF THE
SECTION 57, H.T. & B.R.R. CO. SURVEY, A-289,
BRAZORIA COUNTY, TEXAS

38 LOTS 3 RESERVES 3 BLOCKS
JULY 2021

ENGINEER:
PAPE-DAWSON ENGINEERS, INC.
10350 RICHMOND AVE.
STE 200
HOUSTON, TX 77042
713-428-2400

OWNER:
IOWA COLONY STERLING LAKES, LTD
2450 FONDREN ROAD
STE 210
HOUSTON, TX 77063
713-783-6702

PLANNER/SURVEYOR:
 JONES-CARTER
Texas Board of Professional Engineers Registration No. F-439
Texas Board of Professional Land Surveying Registration No. 328462-04
6330 West Loop South, Suite 150 • Houston, TX 77061 • 713.777.3337

Friday, July 30, 2021

Amber Scopes
Pape-Dawson Engineers, Inc.
10350 Richard Ave., Suite 200
Houston, TX 77042

**Re: Sterling Lakes North Section One Preliminary Plat
Letter of Recommendation to Approve
CIOC Project No. SPP 200923-1093
ALLC Project No. 16007-2-171**

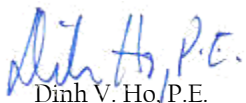
Dear Ms. Scopes;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the third submittal of Sterling Lakes North Section One Preliminary Plat received on or about July 30, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance dated August 2002 and as amended.

Based upon our review, we have no objections to the preliminary plat as resubmitted on July 30, 2021. Please provide Kayleen Rosser, City Secretary, ten (10) folded prints by no later than Monday, August 2, 2021, for consideration at the August 3, 2021, Planning and Zoning Meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC



Dinh V. Ho, P.E.
TBPE Firm No. 16423

Copy

Cc: Kayleen Rosser, City Secretary (krosser@iowacolonytx.gov)
Robert Hemminger, City Manager, (rhemminger@iowacolonytx.gov)
Ron Cox, (rcox@roncoxconsulting.com)
File: 16007-2-171

WE, LGI HOMES-TEXAS, LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING BY AND THROUGH ITS OFFICERS,

OWNERS, HEREINAFTER REFERRED TO AS OWNERS, OF THE 2,671 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING MAP OF STERLING LAKES NORTH SEC 1 PLAT, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID PARTNERSHIP, FOR PUBLIC USE, THE STREETS, ALLEYS, PARKS AND EASEMENTS SHOWN HEREON FOREVER, AND DO HEREBY WAIVE ALL CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHMENT OF GRADES AS APPROVED FOR THE STREETS AND DRAINAGE EASEMENTS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE, OR ANY PORTION OF THE STREETS OR DRAINAGE EASEMENTS TO CONFORM TO SUCH GRADES, AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNED TO WARRANT AND DEFEND THE TITLE OF THE LAND SO DEDICATED.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT THOSE STREETS LOCATED WITHIN THE BOUNDARIES OF THE PLAT SPECIFICALLY NOTED A PUBLIC RIGHTS-OF-WAY, SHALL BE HEREBY ESTABLISHED AND MAINTAINED AS PUBLIC RIGHT-OF-WAY BY THE OWNERS, HEIRS, SUCCESSORS AND ASSIGNS TO PROPERTY LOCATED WITHIN THE BOUNDARIES OF THE PLAT AND ALWAYS AVAILABLE FOR THE GENERAL USE OF SAID OWNERS AND TO THE PUBLIC FOR FIREFIGHTER, FIRE FIGHTING EQUIPMENT, POLICE AND EMERGENCY VEHICLES OF WHATEVER NATURE AT ALL TIMES AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ESTABLISHED AS PUBLIC RIGHTS-OF-WAY.

FURTHER, LIENHOLDERS MUST EXECUTE A SUBORDINATION AGREEMENT SUBORDINATING THEIR LIENS TO ALL PUBLIC STREETS, ALLEYS, PARKS, SCHOOL SITES AND OTHER PUBLIC AREAS SHOWN ON THE PLAT OF SUCH SUBDIVISION OR RESUBDIVISION AS BEING SET ASIDE FOR PUBLIC USE OR PURPOSE.

IN TESTIMONY WHEREOF, IOWA COLONY STERLING LAKES, LTD., A TEXAS LIMITED PARTNERSHIP, AUTHORIZED REPRESENTATIVE HAS CAUSED THESE PRESENTS TO BE SIGNED BY _____, _____, THEREUNTO AUTHORIZED,

ATTESTED BY ITS _____, _____, THIS _____ DAY OF _____, 20____.

LGI HOMES-TEXAS, LLC
A TEXAS LIMITED LIABILITY COMPANY

BY: _____ PRINT NAME: _____
TITLE: _____

STATE OF TEXAS

COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____,

AND _____ OF LGI HOMES-TEXAS, LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGEMENT TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN STATED.

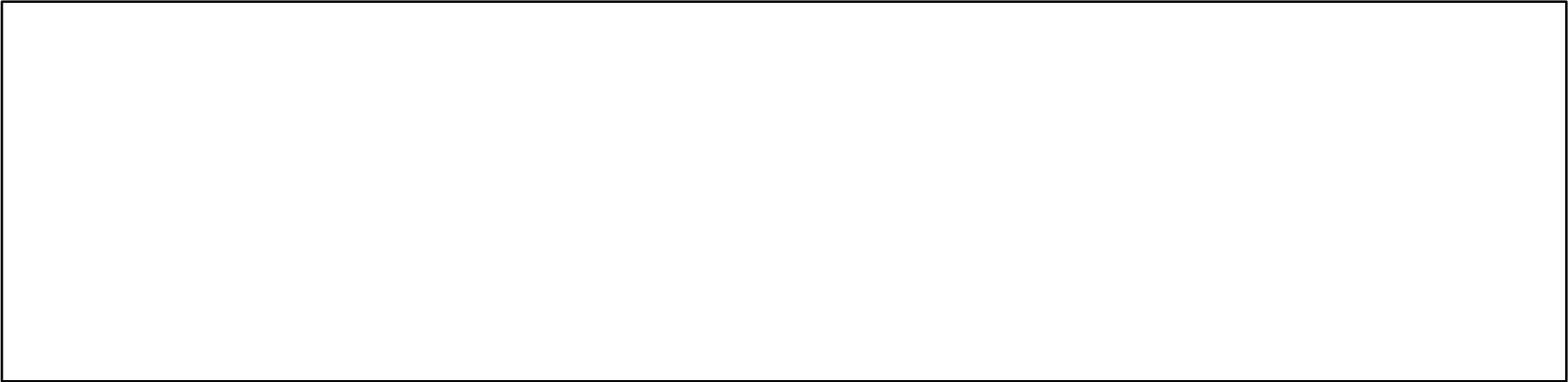
GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES _____

I, BRIAN NAWARA, AM AUTHORIZED (OR REGISTERED) UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND ACCURATE; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION; AND THAT, EXCEPT AS SHOWN, ALL BOUNDARY CORNERS, ANGLE POINTS, POINTS OF CURVATURE AND OTHER POINTS OF REFERENCE HAVE BEEN MARKED WITH IRON PIPES OR IRON RODS HAVING A DIAMETER OF FIVE EIGHTHS (5/8) INCH AND A LENGTH OF NOT LESS THAN THREE (3) FEET; AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204), NAD-83.

BRIAN NAWARA
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6060

CERTIFICATE OF COUNTY CLERK



LEGAL DESCRIPTION OF LAND PARCELED CAN BE FOUND ON SHEET 2 OF 4.

APPROVAL BY PLAT ROOM RECORDER

DATE _____ JOYCE HUDMAN, COUNTY CLERK _____

VOLUME _____, PAGE _____

FLOOD PLAIN CERTIFICATION

STRUCTURES BUILT ON LOTS IN THE DESIGNATED FLOOD PLAIN MUST BE ELEVATED TO THE F.I.A. BASE FLOOD ELEVATION. NO BUILDING PERMITS WILL BE ISSUED IN A FLOODWAY BELOW THE BASE FLOOD ELEVATION (B.F.E.). THIS MUST BE IN ACCORDANCE WITH THE CITY OF IOWA COLONY FLOOD DAMAGE PREVENTION ORDINANCE. CONTACT THE FLOOD PLAIN ADMINISTRATOR'S OFFICE FOR SPECIFIC INFORMATION.

BRAZORIA COUNTY DRAINAGE DISTRICT NO. 5 APPROVAL
BCDD'S REFERENCE ID # B200051

LEE WALDEN, P.E., PRESIDENT _____ DATE _____ KERRY OSBURN, VICE PRESIDENT _____ DATE _____

BRANDON MIDDLETON, SECRETARY/TREASURER _____ DATE _____ JARROD ADEN, DISTRICT ENGINEER _____ DATE _____

PLAT NOTES:

- THE COORDINATES SHOWN HEREON ARE STATE PLANE GRID COORDINATES, REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204), NAD-83; AND, MAY BE CONVERTED TO SURFACE VALUES BY DIVIDING BY THE COMBINED SCALE FACTOR OF 0.999870017.
- ALL BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204), NAD-83.
- ABSENT WRITTEN AUTHORIZATION BY AFFECTED UTILITIES, ALL CENTERPOINT ENERGY, BRAZORIA COUNTY DRAINAGE DISTRICT NO. 5, AND CITY OF IOWA COLONY UTILITY EASEMENTS MUST BE KEPT UNOBSTRUCTED BY THE PROPERTY OWNER. ANY UNAUTHORIZED IMPROVEMENTS OR OBSTRUCTIONS MAY BE REMOVED BY THE UTILITY AT THE PROPERTY OWNER'S EXPENSE.
- THE PRELIMINARY PLAT SHALL EXPIRE TWELVE (12) MONTHS AFTER CITY COUNCIL APPROVAL UNLESS THE FINAL PLAT HAS BEEN SUBMITTED FOR FINAL APPROVAL DURING THAT TIME. AN EXTENSION OF TIME MAY BE GIVEN AT THE DISCRETION OF THE CITY COUNCIL FOR A SINGLE EXTENSION PERIOD OF SIX (6) MONTHS.
- ALL STREETS SHALL BE CONSTRUCTED TO THE CITY'S DESIGN CRITERIA.
- A MINIMUM OF FIVE (5) FOOT WIDE SIDEWALK SHALL BE REQUIRED ALONG BOTH SPINE ROADS, OR A MINIMUM OF SIX (6) FOOT WIDE SIDEWALK SHALL BE REQUIRED ALONG 1 SIDE, AND A MINIMUM OF FOUR (4) FOOT WIDE SIDEWALKS SHALL BE REQUIRED ALONG STREETS WITHIN THE RESIDENTIAL SECTION AND SHALL CONFORM TO THE CITY'S DESIGN CRITERIA.
- SIDEWALKS MUST BE CONSTRUCTED AS A PART OF THE ISSUANCE OF A BUILDING PERMIT FOR EACH TRACT, IF SIDEWALKS ARE REQUIRED.
- THE OWNER WILL PROVIDE EASEMENTS FOR POWER LINES WHERE SUCH ARE REQUIRED, EITHER AS SHOWN ON THE PLAT OR BY SEPARATE INSTRUMENT DEDICATION.
- THE OWNER WILL PROVIDE STREET NAME SIGNS AND TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THIS SUBDIVISION EMPLOYS A DRAINAGE SYSTEM, WHICH UTILIZES STREETS AND ADJACENT PROPERTIES TO STORE AND CONVEY STORM WATER. THUS, DURING STORM EVENTS, PONDING OF WATER SHOULD BE EXPECTED TO OCCUR IN THE SUBDIVISION.
- CEDAR RAPID PARKWAY AND KARSTEN BOULEVARD ARE DESIGNATED AS A "PLANNED THOROUGHFARE" (MINIMUM 120' WIDTH) ON THE CURRENT MAJOR THOROUGHFARE PLAN.
- THE ELEVATIONS FOR THIS SURVEY ARE NAVD88 (JUNE 1991 ADJ.) BASED ON THE PUBLISHED ELEVATIONS FOR THE FOLLOWING NGS BENCHMARKS:
AW2028 ELEVATION: 52.00'
AW5685 ELEVATION: 56.13'
- BOUNDARY CLOSURE CALCULATION ERROR
(1:254,729.00)
- THIS PROPERTY LIES WITHIN BOMUD NO 31.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL ALL THE STORM DRAINAGE IMPROVEMENTS, WHICH MAY INCLUDE DETENTION, HAVE BEEN CONSTRUCTED.
- SUBDIVISION IS LOCATED PARTIALLY IN ZONE "X" WITH NO BASE FLOOD BASE ELEVATION REQUIRED AND PARTIALLY LOCATED IN ZONE "AE" WITH A BASE FLOOD ELEVATION OF 53.0. THIS INFORMATION IS BASED ON BRAZORIA COUNTY FIRM COMMUNITY MAP 48039, PANEL 110K, DATED DECEMBER 30, 2020.
- MONUMENTS SET AS EXTERIOR BOUNDARY MARKERS WILL BE SET WITH A MINIMUM OF FIVE EIGHTS (5/8) INCH IRON ROD OR THREE QUARTERS (3/4) INCH IRON PIPE AT LEAST THIRTY SIX (36) INCHES LONG, ENCASED IN CONCRETE FOR A MINIMUM OF EIGHTEEN INCHES BELOW THE SURFACE OF THE GROUND.
- ALL PERMANENT REFERENCE MONUMENTS (PRM) WILL BE SET AT ALL BOUNDARY LINE ANGLE POINTS, BLACK CORNERS, ANGLE POINTS, POINTS OF CURVATURE, AND AT INTERVALS NOT TO EXCEED ONE THOUSAND (1,000) FEET. PERMANENT REFERENCE MONUMENTS SHALL CONFORM TO THE TEXAS PROFESSIONAL LAND SURVEYING PRACTICES ACT AND THE GENERAL RULES OF PROCEDURES AND PRACTICES.
- ALL MONUMENTS WILL BE SET TO THE STANDARD OF THE TEXAS SOCIETY OF PROFESSIONAL LAND SURVEYING PRACTICES ACT AND THE GENERAL RULES OF PROCEDURES AND PRACTICES OF THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING AND SHALL BEAR REFERENCE TAPS AS INDICATED.
- ALL WATER AND WASTEWATER FACILITIES SHALL CONFORM TO THE CITY'S DESIGN CRITERIA.
- THIS PLAT IS SUBJECT TO THE DEVELOPMENT AGREEMENT FOR STERLING LAKES AT IOWA COLONY AND SIERRA VISTA, AS APPROVED ON FEBRUARY 15, 2016, AMENDED IN JUNE, 2016 AND AMENDED JULY 19, 2021.

CERTIFICATE OF CITY COUNCIL

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF IOWA COLONY, TEXAS THIS THE _____ DAY OF _____, 20____, HAS APPROVED THIS PLAT AND SUBDIVISION OF STERLING LAKES NORTH STERLING LAKES DRIVE STREET DEDICATION PLAT AS SHOWN HEREON.

MICHAEL BYRUM-BRATSEN, MAYOR _____

SYDNEY HARGRODER _____

ARNETTA HICKS-MURRAY _____

MARQUETTE GREENE-YOUNG _____

WIL KENNEDY _____

CHAD WILSEY _____

CERTIFICATE OF CITY PLANNING COMMISSION

THIS IS TO CERTIFY THAT THE CITY PLANNING COMMISSION OF THE CITY OF IOWA COLONY, TEXAS THIS THE _____ DAY OF _____, 20____, HAS APPROVED THIS PLAT AND SUBDIVISION OF STERLING LAKES NORTH STERLING LAKES DRIVE STREET DEDICATION PLAT AS SHOWN HEREON.

DAVID HURST, CHAIRMAN _____

MELANIE HAMPTON _____

STEVEN BYRUM-BRASTEN _____

LES HOSEY _____

VINCE PATTERSON _____

TIMOTHY VARLACK _____

MCLEAN BARNETT _____

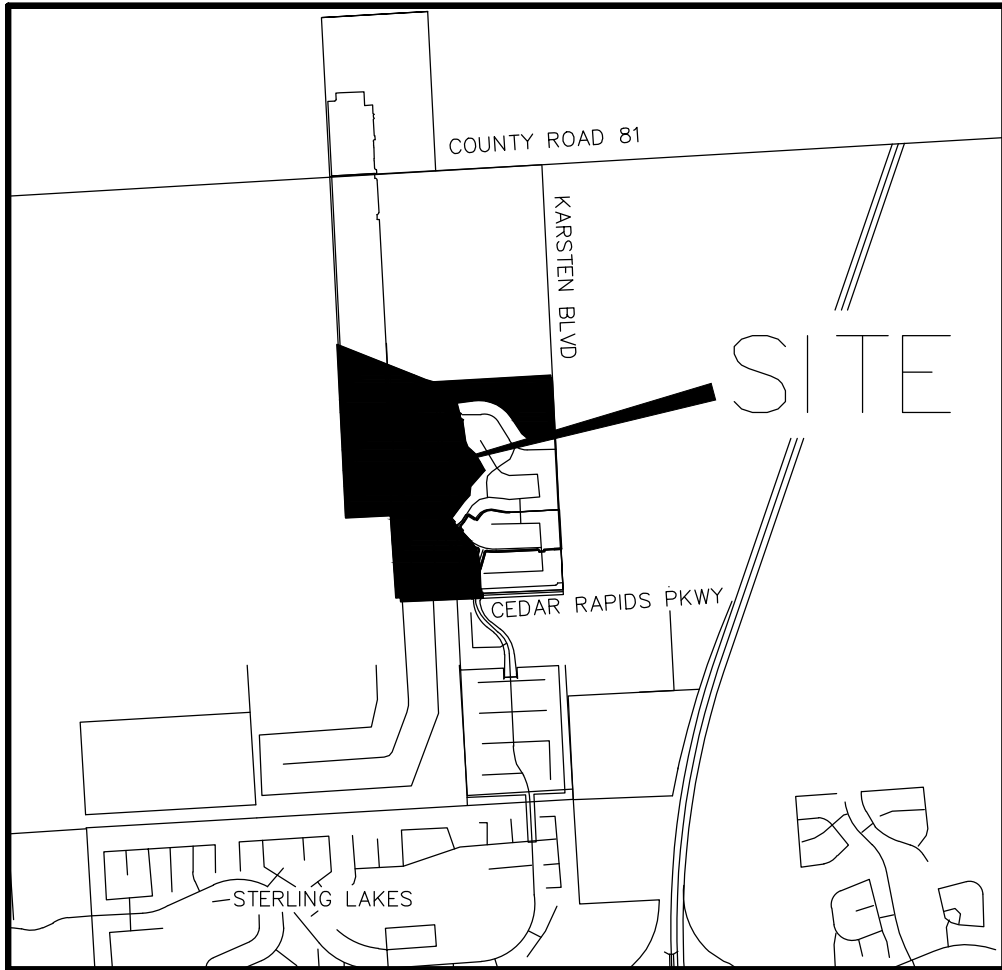
APPROVAL BY CITY ENGINEER

DINH HO, P.E., CITY ENGINEER _____

DATE _____

BRAZORIA COUNTY DRAINAGE DISTRICT NO. 5 FINAL PLAT AND CONSTRUCTION NOTES:

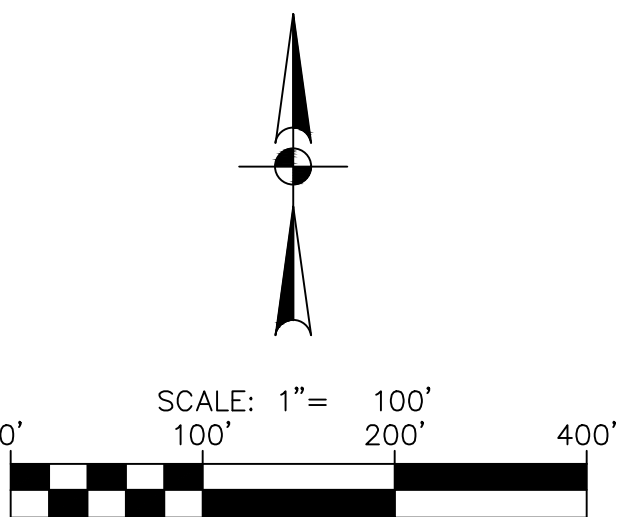
- SLAB ELEVATIONS (FINISHED FLOOR) SHALL BE A MINIMUM OF 2 FEET ABOVE FINISHED GRADE. (DOES NOT APPLY)
- ALL DRAINAGE EASEMENTS SHOWN HEREON SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS AND OTHER OBSTRUCTIONS TO THE OPERATION AND MAINTENANCE OF DRAINAGE FACILITIES.
- ALL PROPERTY SHALL DRAIN INTO THE DRAINAGE EASEMENT ONLY THROUGH AN APPROVED DRAINAGE STRUCTURE.
- ALL DRAINAGE EASEMENTS AND DETENTION POND RESERVES SHOWN ON THIS PLAT, WITH THE EXCEPTION OF BUSINESS OWNERS; PROVIDED, HOWEVER, WILL BE MAINTAINED BY THE PROPERTY OWNERS AND/OR INCLUDING, WITHOUT LIMITATION, BRAZORIA COUNTY, TEXAS AND BRAZORIA COUNTY DRAINAGE DISTRICT # 5, SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION TO ENTER UPON THE DRAINAGE EASEMENTS TO PERFORM MAINTENANCE OPERATIONS AT ANY TIME AFTER THE DATE HEREOF. (DOES NOT APPLY)
- THE PROPERTY IDENTIFIED IN THE FOREGOING PLAT LIES WITH BRAZORIA COUNTY DRAINAGE DISTRICT #5.
- THIS RURAL COMMERCIAL SITE EMPLOYS A NATURAL DRAINAGE SYSTEM, WHICH IS INTENDED TO PROVIDE DRAINAGE FOR THE SITE THAT IS SIMILAR TO THAT WHICH EXISTED UNDER PRE-DEVELOPMENT CONDITIONS. THUS, DURING LARGE STORM EVENTS, PONDING OF WATER SHOULD BE EXPECTED TO OCCUR ON THE SITE TO THE EXTENT IT MAY HAVE PRIOR TO DEVELOPMENT, BUT SUCH PONDING SHOULD NOT REMAIN FOR AN EXTENDED PERIOD OF TIME. (DOES NOT APPLY)
- LAND USE WITHIN THE COMMERCIAL SITE IS LIMITED TO AN AVERAGE IMPERVIOUSNESS OF NO MORE THAN _____ PERCENT. THE DRAINAGE AND /OR DETENTION SYSTEM HAS BEEN DESIGNED WITH THE ASSUMPTION THAT THIS AVERAGE PERCENT, IMPERVIOUSNESS WILL NOT BE EXCEEDED. IF THIS PERCENTAGE IS TO BE EXCEEDED, A REPLAT AND/OR REDESIGN OF THE SYSTEM MAY BE NECESSARY. (DOES NOT APPLY)
- OTHER THAN SHOWN HERON, THERE ARE NO PIPELINE EASEMENTS OR PIPELINES WITHIN THE BOUNDARIES OF THIS PLAT.
- ALL STORM WATER DRAINAGE PIPES, CULVERTS, TILES OR OTHER (INCLUDING DRIVEWAY CULVERTS) WILL BE MINIMUM 24" I.D. OR EQUAL.
- DEDICATED DRAINAGE EASEMENT(S) GRANTED TO BRAZORIA COUNTY DRAINAGE DISTRICT # 5 FOR DRAINAGE MAINTENANCE PURPOSES SHALL INCLUDE 45 FEET TOP OF BANK, PLUS THE SUM (FOOTAGE) OF BOTH DITCH SIDE SLOPES AND CHANNEL BOTTOM AND 45 FEET OF BANK ON THE OPPOSITE BANK.
- DEDICATED INGRESS/EGRESS ACCESSES ARE GRANTED TO BRAZORIA COUNTY DRAINAGE DISTRICT # 5 (SEE DISTRICT RESOLUTION NO 2007-06 & NO 2007-07). ACCESS WILL BE GATED AND LOCKED WITH BRAZORIA COUNTY DRAINAGE DISTRICT # 5'S LOCK.
- PROHIBITED USE OF "METAL" PIPE IN STORM WATER/SEWER APPLICATIONS (SEE DISTRICT RESOLUTION NO 2007-08).
- PROHIBITED USE OF "RIP-RAP" IN STORM WATER/SEWER APPLICATIONS (DISTRICT POLICY).
- PIPELINES, UTILITY LINES AND OTHER CROSSING UNDER ANY BRAZORIA COUNTY DRAINAGE DISTRICT #5 DITCH REQUIRE APPROVAL AND PERMITTING PRIOR TO CONSTRUCTION.
- ALL DEDICATED STORM WATER DRAINAGE AND/OR ACCESS EASEMENTS TO BE GRANTED TO BRAZORIA COUNTY DRAINAGE DISTRICT # 5 BY THE PROPERTY OWNER WILL BE INITIATED AND RECORDED, AT PROPERTY OWNER'S EXPENSE, IN BRAZORIA COUNTY, TEXAS WITH A 'RECORDED DOCUMENT NUMBER' AFFIXED TO SAID EASEMENT PRIOR TO FINAL PROJECT APPROVAL GRANTED BY BRAZORIA COUNTY DRAINAGE DISTRICT # 5 BOARD OF COMMISSIONERS.
- IT WILL BE THE PROPERTY OWNER'S RESPONSIBILITY TO VERIFY IF ANY BRAZORIA COUNTY DRAINAGE DISTRICT # 5 'DEDICATED' DRAINAGE EASEMENTS ARE ON OR CROSS THEIR PROPERTY. IF SO, THE PROPERTY OWNER WILL COMPLY AS STATED WITHIN THE RECORDED EASEMENT.
- PROJECT FIELD START-UP WILL START WITHIN 365 CALENDAR DAYS FROM DATE SHOWN HERE. CONTINUOUS AND REASONABLE FIELD SITE WORK IS EXPECTED. SEE BRAZORIA COUNTY DRAINAGE CRITERIA MANUAL SECTION 1, INTRODUCTION; SUB-SECTION 1.5. PLAT AND PLAN APPROVAL PROCESS, AND DRAINAGE ACCEPTANCE PROCEDURES; TIME LIMIT FOR APPROVAL AND BRAZORIA COUNTY DRAINAGE DISTRICT # 5 RESOLUTION 2011-1, ALLOWABLE TIME(S) AND PROCEDURES FOR STARTING-UP APPROVED PROJECTS.



LOCATION MAP
NTS

LEGEND

●	FOUND 5/8" IRON ROD (UNLESS NOTED OTHERWISE)
○	SET 5/8" IRON ROD (PD)
○	SET 5/8" IRON ROD (PD)-ROW
AC	= ACRE
AE	= AERIAL EASEMENT
SSE	= SANITARY SEWER EASEMENT
STM SE	= STORM SEWER EASEMENT
WLE	= WATER LINE EASEMENT
DE	= DRAINAGE EASEMENT
UE	= UTILITY EASEMENT
FC NO.	= FILM CODE NUMBER
UVE	= UNOBSTRUCTED VISIBILITY EASEMENT
BL	= BUILDING LINE
R	= RADIUS
ROW	= RIGHT-OF-WAY
SF	= SQUARE FEET
BL	= BUILDING LINE
GBL	= GARAGE BUILDING LINE
IR	= IRON ROD
FD	= FOUND
COS	= COMPENSATING OPEN SPACE
HCMR	= HARRIS COUNTY MAP RECORDS
HCDR	= HARRIS COUNTY DEED RECORDS
HCOPRRP	= OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
HCFC	= HARRIS COUNTY FLOOD CONTROL DISTRICT
OPRRPHC	= OFFICIAL PUBLIC RECORDS OF HARRIS COUNTY TEXAS
HCCF NO.	= HARRIS COUNTY CLERK'S FILE NUMBER



STERLING LAKES NORTH SEC 1

PRELIMINARY PLAT

A SUBDIVISION OF 98.190 ACRES
LOCATED IN THE H.T. & B.R.R. CO.
SURVEY, ABSTRACT NO. 516
BRAZORIA COUNTY, TEXAS

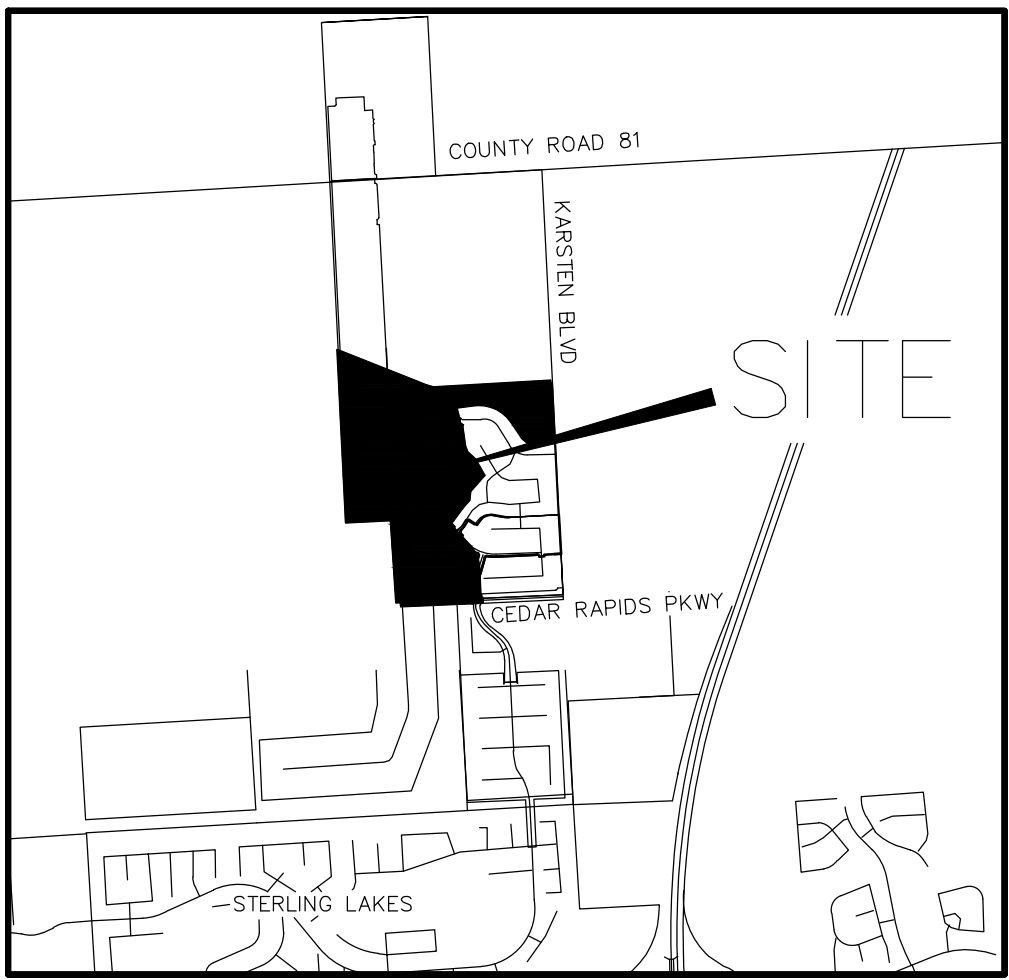
211 LOTS 11 RESERVES 8 BLOCKS

SCALE: 1"= 100' SEPTEMBER 2020

OWNER:
LGI HOMES-TEXAS, LLC, A TEXAS LIMITED LIABILITY COMPANY
JACK LIPAR
EXECUTIVE VICE PRESIDENT
1450 LAKE ROBBINS DRIVE, SUITE 430
THE WOODLANDS, TEXAS 77380
TEL. 281.362.8998

**PAPE-DAWSON
ENGINEERS**

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10333 RICHMOND AVE, STE 900 | HOUSTON, TX 77042 | 713.428.2400
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10193974

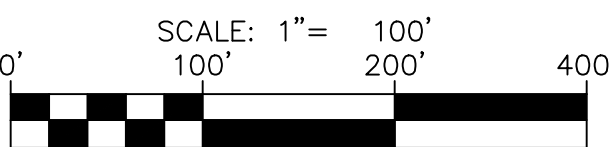
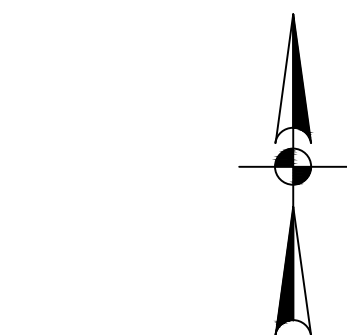


LOCATION MAP

NTS

LEGEND

- FOUND 5/8" IRON ROD (UNLESS NOTED OTHERWISE)
- SET 5/8" IRON ROD (PD)
- SET 5/8" IRON ROD (PD)-ROW
- AC ACRE
- AE AERIAL EASEMENT
- SSE SANITARY SEWER EASEMENT
- STM SE STORM SEWER EASEMENT
- WLE WATER LINE EASEMENT
- DE DRAINAGE EASEMENT
- UE UTILITY EASEMENT
- FC NO. FILM CODE NUMBER
- UVE UNOBSTRUCTED VISIBILITY EASEMENT
- BL BUILDING LINE
- R RADIUS
- ROW RIGHT-OF-WAY
- SF SQUARE FEET
- BL BUILDING LINE
- GBL GARAGE BUILDING LINE
- IR IRON ROD
- FD FOUND
- COS COMPENSATING OPEN SPACE
- HCMR HARRIS COUNTY MAP RECORDS
- HCOR HARRIS COUNTY DEED RECORDS
- HCOPRRP OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
- HCFCO HARRIS COUNTY FLOOD CONTROL DISTRICT
- OPRRPHC OFFICIAL PUBLIC RECORDS OF HARRIS COUNTY TEXAS
- HCFC NO. HARRIS COUNTY CLERK'S FILE NUMBER



STERLING LAKES

NORTH SEC 1

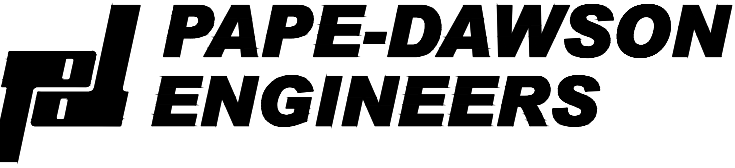
PRELIMINARY PLAT

A SUBDIVISION OF 98.190 ACRES
LOCATED IN THE H.T. & B.R.R. CO.
SURVEY, ABSTRACT NO. 516
BRAZORIA COUNTY, TEXAS

211 LOTS 11 RESERVES 8 BLOCKS

SCALE: 1"= 100' SEPTEMBER 2020

OWNER:
LGI HOMES-TEXAS, LLC, A TEXAS LIMITED LIABILITY COMPANY
JACK LIPAR
EXECUTIVE VICE PRESIDENT
1450 LAKE ROBBINS DRIVE, SUITE 430
THE WOODLANDS, TEXAS 77380
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HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10333 RICHMOND AVE, STE 900 | HOUSTON, TX 77042 | 713.428.2400
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10193974

LINE TABLE			LINE TABLE			LINE TABLE		
LINE #	BEARING	LENGTH	LINE #	BEARING	LENGTH	LINE #	BEARING	LENGTH
L1	N3°49'52"W	53.06'	L21	S48°28'31"E	4.34'	L53	S43°18'29"E	30.00'
L2	S87°09'23"W	51.30'	L22	S42°45'44"W	2.57'	L54	S36°47'30"W	24.67'
L3	N33°44'05"W	63.02'	L23	N51°26'42"W	2.40'	L55	S51°03'22"E	45.53'
L4	N39°49'57"W	76.73'	L24	N88°59'58"W	53.56'	L56	S54°32'46"E	55.25'
L5	N49°02'22"W	76.73'	L25	N87°09'01"E	1.83'	L57	S60°13'20"E	55.25'
L6	N58°14'46"W	76.73'	L26	N78°52'13"W	19.68'	L58	S65°53'53"E	55.25'
L7	N67°27'11"W	76.73'	L27	N33°32'05"W	23.25'	L59	S71°34'26"E	55.25'
L8	N76°39'36"W	76.73'	L28	N12°14'06"W	36.17'	L60	S77°14'59"E	55.25'
L9	N85°52'01"W	76.73'	L29	S87°09'23"W	21.71'	L61	S82°55'32"E	55.25'
L10	S86°00'47"W	58.64'	L30	S47°50'59"E	19.80'	L62	S85°42'04"E	66.12'
L11	S56°41'53"E	20.00'	L31	N48°00'46"W	20.00'	L63	S3°34'20"E	34.66'
L12	S15°39'56"W	20.00'	L32	S42°19'12"W	20.01'	L64	S86°10'00"W	24.55'
L13	S20°58'32"E	75.94'	L33	N2°50'59"W	27.75'	L65	N86°10'00"E	35.45'
L14	S48°23'11"E	51.64'	L34	N42°10'19"E	19.81'	L66	N71°00'28"W	110.06'
L15	S48°23'11"E	63.16'	L35	S0°38'10"E	41.48'	L67	N70°29'35"W	53.54'
L16	S2°38'50"E	56.51'	L36	S13°32'43"W	38.13'	L68	N31°36'33"W	20.00'
L17	N44°19'09"W	1.72'	L37	N63°34'54"W	45.65'	L69	N4°35'23"E	28.12'
L18	N41°36'53"E	4.83'	L38	N74°36'41"W	46.42'	L70	S14°24'08"W	53.43'
L19	S86°10'00"W	21.13'	L39	S87°36'16"W	53.03'	L71	S89°25'37"W	71.14'
L20	S31°50'41"E	9.35'	L40	S43°18'29"E	23.40'	L72	N41°10'00"E	19.80'

LINE TABLE		
LINE #	BEARING	LENGTH
L73	S48°50'00"E	19.80'



CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	25.00'	90°11'32"	S47°44'52"E	35.41'	39.35'
C2	50.00'	107°38'11"	S20°30'58"E	80.71'	93.93'
C3	430.00'	40°21'15"	S22°49'43"E	296.63'	302.86'
C4	55.00'	89°00'38"	S48°20'19"E	77.11'	85.44'
C5	300.00'	30°43'00"	S11°31'30"W	158.91'	160.83'
C6	55.00'	62°32'37"	S58°09'19"W	57.10'	60.04'
C7	300.00'	69°29'48"	S38°34'54"E	341.98'	363.88'
C8	55.00'	89°00'59"	S41°39'31"W	77.11'	85.45'
C9	55.00'	90°00'00"	N48°50'00"W	77.78'	86.39'
C10	55.00'	90°00'00"	N41°10'00"E	77.78'	86.39'
C11	55.00'	65°12'06"	N61°13'57"W	59.27'	62.59'
C12	300.00'	65°25'24"	N4°04'48"E	324.25'	342.56'
C13	600.00'	30°19'27"	N58°10'04"W	313.86'	317.55'
C14	400.00'	50°31'31"	N68°34'14"W	341.42'	352.73'
C15	300.00'	47°40'11"	S20°00'05"W	242.46'	249.60'
C16	55.00'	90°59'22"	N41°39'41"E	78.45'	87.34'
C17	300.00'	39°28'29"	N23°34'14"W	202.63'	206.69'
C18	400.00'	40°21'16"	N22°49'43"W	275.94'	281.73'
C19	430.00'	40°21'15"	S22°49'43"E	296.63'	302.86'
C21	25.00'	89°48'27"	N42°15'08"E	35.30'	39.19'

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C22	450.00'	2°59'47"	N1°09'12"W	23.53'	23.53'
C24	370.00'	37°13'16"	N18°15'56"W	236.16'	240.36'
C25	25.00'	96°25'55"	N85°05'31"W	37.28'	42.08'
C26	25.00'	78°26'12"	S7°28'25"W	31.61'	34.22'
C27	330.00'	27°54'41"	S17°47'20"E	159.17'	160.76'
C28	25.00'	12°40'35"	S10°10'17"E	5.52'	5.53'
C29	50.00'	129°30'24"	S48°14'37"W	90.45'	113.02'
C30	25.00'	25°50'27"	N79°55'24"W	11.18'	11.28'
C31	25.00'	26°11'34"	S74°03'36"W	11.33'	11.43'
C32	50.00'	141°16'37"	N48°23'53"W	94.34'	123.29'
C33	25.00'	26°04'25"	N9°12'13"E	11.28'	11.38'
C34	330.00'	18°10'31"	N5°15'15"E	104.24'	104.68'
C35	25.00'	72°03'02"	N21°41'00"W	29.41'	31.44'
C36	330.00'	53°52'31"	N30°46'15"W	298.99'	310.30'
C37	25.00'	90°00'00"	N48°50'00"W	35.36'	39.27'
C38	25.00'	89°00'59"	S41°39'31"W	35.05'	38.84'
C39	25.00'	40°44'23"	S23°13'10"E	17.40'	17.78'
C40	50.00'	265°35'14"	S89°12'16"W	73.38'	231.77'
C41	25.00'	44°50'52"	N19°34'27"E	19.07'	19.57'
C42	25.00'	90°59'01"	N48°20'29"W	35.66'	39.70'

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C63	25.00'	88°14'17"	S7°19'38"E	34.81'	38.50'
C64	630.00'	8°26'25"	S47°13'34"E	92.72'	92.81'
C66	330.00'	39°09'43"	N15°44'52"E	221.19'	225.56'
C67	25.00'	78°38'12"	N3°59'23"W	31.68'	34.31'
C68	370.00'	44°53'28"	N65°45'12"W	282.54'	289.89'
C69	25.00'	95°38'03"	S43°59'02"W	37.05'	41.73'
C70	25.00'	89°00'38"	S48°20'19"E	35.05'	38.84'
C71	25.00'	90°59'22"	N41°39'41"E	35.66'	39.70'
C72	25.00'	106°35'18"	S83°23'52"W	40.09'	46.51'
C73	270.00'	33°56'13"	S13°08'06"W	157.60'	159.92'
C74	25.00'	89°00'38"	S48°20'19"E	35.05'	38.84'
C75	25.00'	90°59'22"	N41°39'41"E	35.66'	39.70'
C76	270.00'	39°28'35"	N23°34'14"W	182.36'	186.02'
C77	25.79'	39°28'35"	N23°34'14"W	182.36'	186.02'
C78	570.00'	30°19'27"	N58°10'04"W	298.17'	301.67'
C79	25.00'	96°27'10"	S58°26'37"W	37.29'	42.09'
C80	270.00'	14°03'02"	S3°11'31"W	66.05'	66.21'
C81	25.00'	85°43'51"	S46°41'55"E	34.01'	37.41'
C82	430.00'	46°15'22"	S66°26'10"E	337.80'	347.15'
C83	25.00'	90°00'00"	S88°18'29"E	35.36'	39.27'

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C84	25.00'	89°41'52"	N1°50'35"E	35.26'	39.14'
C85	25.00'	90°00'00"	N48°50'00"W	35.36'	39.27'
C86	25.00'	89°00'59"	S41°39'31"W	35.05'	38.84'
C87	25.00'	90°59'01"	S48°20'29"E	35.66'	39.70'
C88	25.00'	90°00'00"	N41°10'00"E	35.36'	39.27'
C89	25.00'	62°32'37"	S58°09'19"W	25.95'	27.29'
C90	25.00'	100°12'48"	S23°13'24"E	38.36'	43.73'
C91	630.00'	12°14'11"	S67°12'42"E	134.29'	134.55'
C92	25.00'	82°06'53"	N77°50'57"E	32.84'	35.83'
C93	270.00'	65°25'24"	N4°04'48"E	291.82'	308.30'
C94	25.00'	65°12'06"	N61°13'57"W	26.94'	28.45'
C95	25.00'	90°00'00"	S41°10'00"W	35.36'	39.27'
C96	270.00'	49°25'46"	S28°32'53"E	225.77'	232.93'
C97	25.00'	99°51'14"	N76°48'37"E	38.26'	43.57'
C98	25.00'	42°50'00"	N5°28'00"E	18.26'	18.69'
C99	50.00'	148°12'37"	N58°09'19"E	96.18'	129.34'
C100	25.00'	42°50'00"	S69°09'23"E	18.26'	18.69'
C101	25.00'	42°50'00"	N68°00'37"E	18.26'	18.69'
C102	50.00'	265°40'01"	S0°34'23"E	73.33'	231.84'
C103	25.00'	42°50'00"	N69°09'23"W	18.26'	18.69'

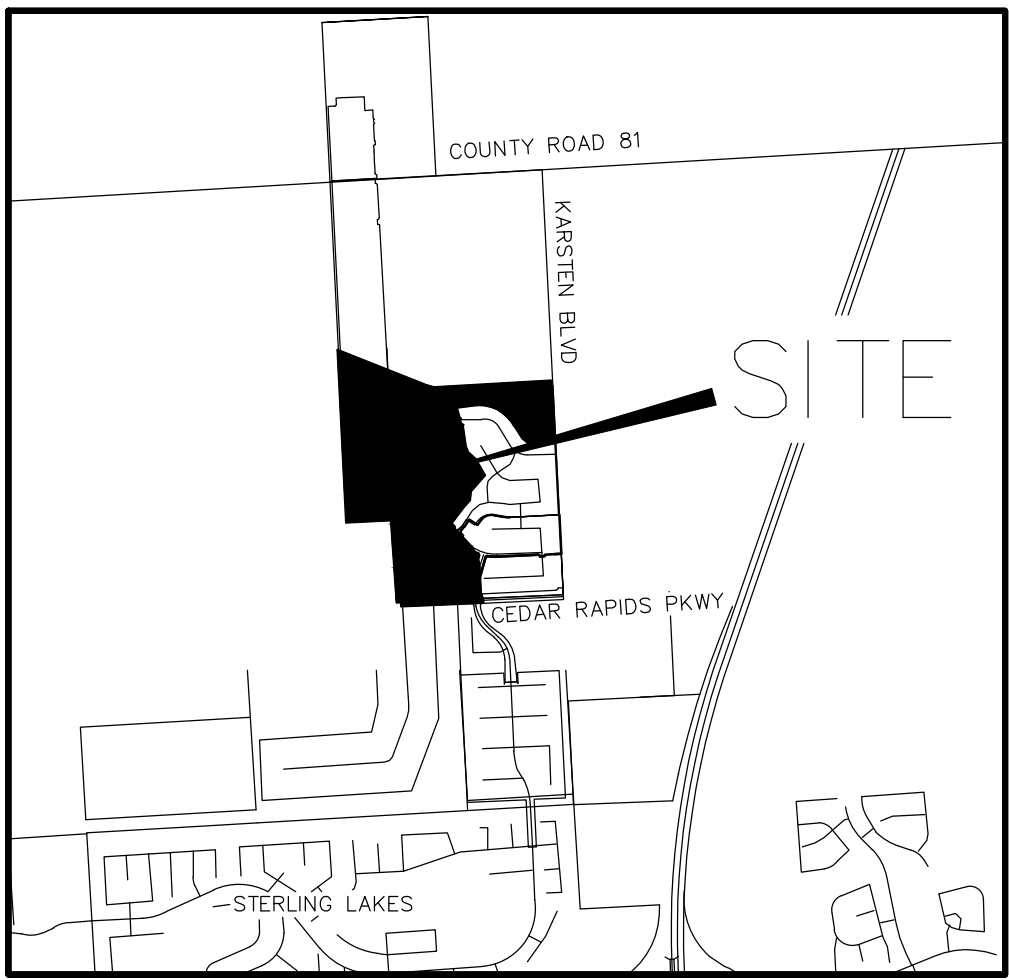
CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C43	25.00'	89°00'59"	N41°39'31"E	35.05'	38.84'
C44	25.00'	25°41'44"	N15°41'51"W	11.12'	11.21'
C45	50.00'	140°03'47"	N41°29'11"E	93.99'	122.23'
C46	25.00'	25°21'04"	S81°09'28"E	10.97'	11.06'
C47	25.00'	20°05'14"	N76°07'23"E	8.72'	8.76'
C48	50.00'	134°43'40"	S46°33'24"E	92.30'	117.57'
C49	25.00'	24°38'26"	S8°29'13"W	10.67'	10.75'
C50	25.00'	25°39'10"	S16°39'35"E	11.10'	11.19'
C51	50.00'	133°42'36"	S37°22'08"W	91.95'	116.68'
C52	25.00'	18°03'25"	N84°48'17"W	7.85'	7.88'
C53	25.00'	90°00'00"	S41°10'00"W	35.36'	39.27'
C54	25.00'	90°00'00"	S48°50'00"E	35.36'	39.27'
C55	25.00'	26°54'38"	N72°42'41"E	11.63'	11.74'
C56	50.00'	118°35'17"	S61°26'59"E	85.98'	103.49'
C57	25.00'	26°28'34"	S15°23'37"E	11.45'	11.55'
C58	330.00'	7°57'02"	S24°39'23"E	45.76'	45.79'
C59	150.00'	40°46'38"	S41°04'11"E	104.52'	106.75'
C60	50.00'	124°55'05"	S1°00'02"W	88.67'	109.01'
C61	150.00'	40°46'38"	S43°04'16"W	104.52'	106.75'
C62	330.00'	14°06'34"	S29°44'14"W	81.06'	81.26'

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C104	25.00'	90°00'00"	N48°50'00"W	35.36'	39.27'
C105	25.00'	90°00'00"	S41°10'00"W	35.36'	39.27'
C106	25.00'	90°00'00"	S48°50'00"E	35.36'	39.27'
C107	25.00'	90°00'00"	N41°10'00"E	35.36'	39.27'

AA SHARP INVESTMENTS, LTD.
(B.C.C.F. NO. 2007068904)
DESCRIBED AS ITEM 8,
CALLED 120 ACRES
VOL. 1004, PG. 761 B.C.D.R.

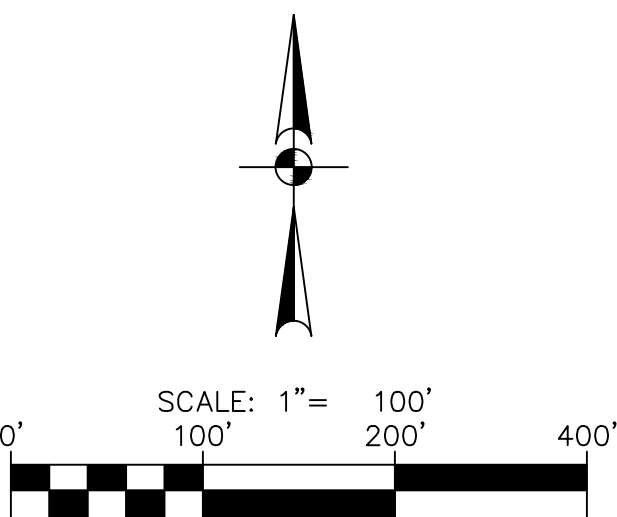
THE DOW CHEMICAL COMPANY
PIPE LINE RIGHT-OF-WAY
VOL. 385, PG. 609 B.C.D.R.
NO DEFINED WIDTH BLANKET EASEMENT OVER
80 ACRES THE S.E. 1/4 OF SECTION 58
(SCH. B, ITEM 10, J)

JULIP HOLDINGS, LLC
CALLED 81.19 ACRES
B.C.C.F. NO. 2014025313



LOCATION MAP
NTS

- LEGEND**
- FOUND 5/8" IRON ROD (UNLESS NOTED OTHERWISE)
 - SET 5/8" IRON ROD (PD)
 - SET 5/8" IRON ROD (PD)-ROW
 - AC = ACRE
 - AE = AERIAL EASEMENT
 - SSE = SANITARY SEWER EASEMENT
 - STM SE = STORM SEWER EASEMENT
 - WLE = WATER LINE EASEMENT
 - DE = DRAINAGE EASEMENT
 - UE = UTILITY EASEMENT
 - FC NO. = FILM CODE NUMBER
 - UVE = UNOBSTRUCTED VISIBILITY EASEMENT
 - BL = BUILDING LINE
 - R = RADIUS
| ROW | = | RIGHT-OF-WAY |
| SF | = | SQUARE FEET |
| BL | = | BUILDING LINE |
| GBL | = | GARAGE BUILDING LINE |
| IR | = | IRON ROD |
| FD | = | FOUND |
| COS | = | COMPENSATING OPEN SPACE |
| HCMR | = | HARRIS COUNTY MAP RECORDS |
| HCOR | = | HARRIS COUNTY DEED RECORDS |
| HCOPRRP | = | OFFICIAL PUBLIC RECORDS OF REAL PROPERTY |
| HCFCO | = | HARRIS COUNTY FLOOD CONTROL DISTRICT |
| OPRRPHC | = | OFFICIAL PUBLIC RECORDS OF HARRIS COUNTY TEXAS |
| HCFC NO. | = | HARRIS COUNTY CLERK'S FILE NUMBER |



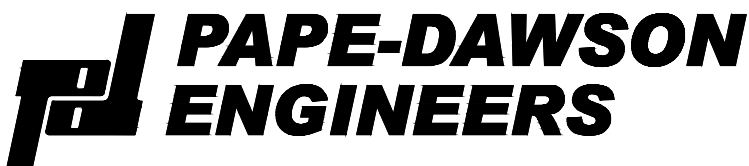
STERLING LAKES NORTH SEC 1 PRELIMINARY PLAT

A SUBDIVISION OF 98.190 ACRES
LOCATED IN THE H.T. & B.R.R. CO.
SURVEY, ABSTRACT NO. 516
BRAZORIA COUNTY, TEXAS

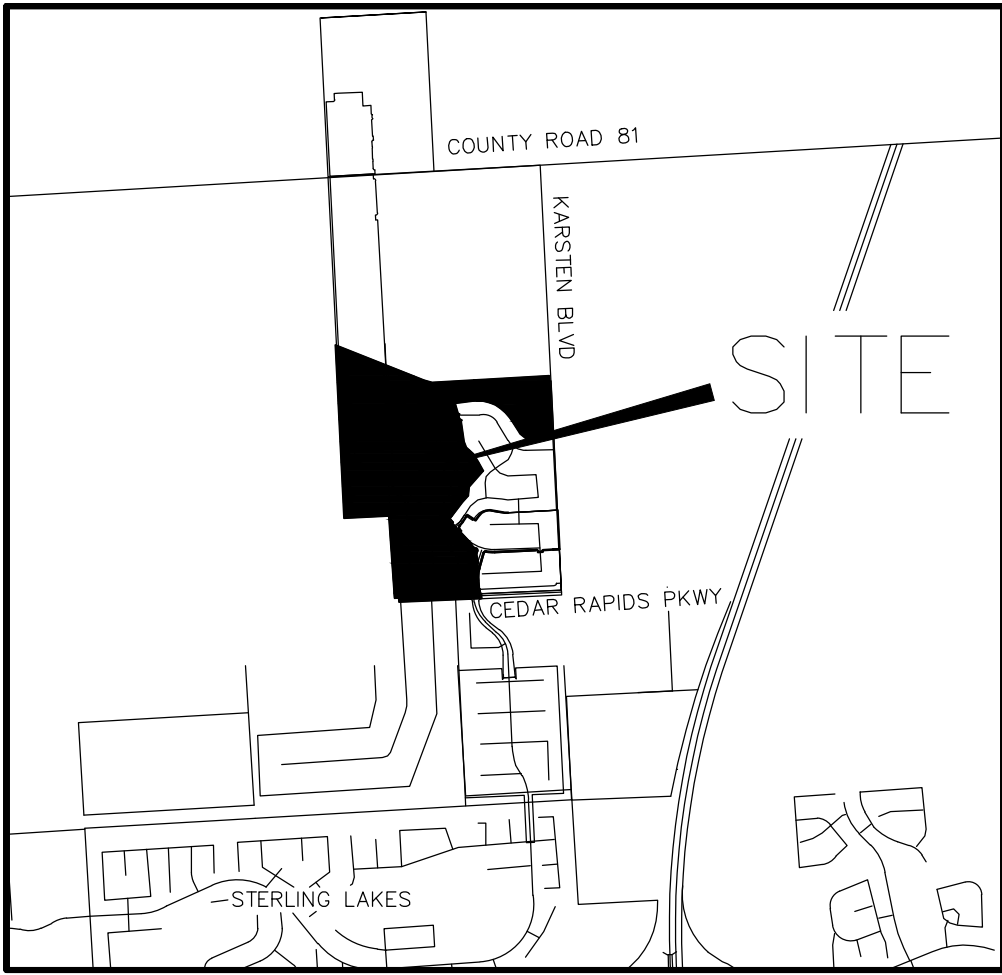
211 LOTS 11 RESERVES 8 BLOCKS

SCALE: 1"= 100' SEPTEMBER 2020

OWNER:
LGI HOMES-TEXAS, LLC, A TEXAS LIMITED LIABILITY COMPANY
JACK LIPAR
EXECUTIVE VICE PRESIDENT
1450 LAKE ROBBINS DRIVE, SUITE 430
THE WOODLANDS, TEXAS 77380
TEL. 281.362.8998



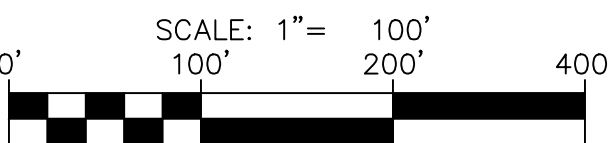
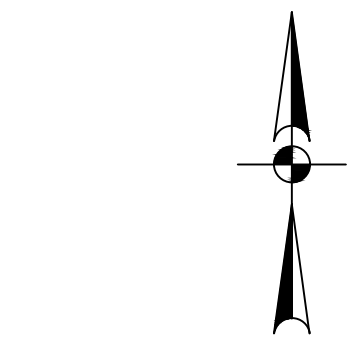
HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10333 RICHMOND AVE, STE 900 | HOUSTON, TX 77042 | 713.428.2400
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10198974



LOCATION MAP
NTS

LEGEND

- FOUND 5/8" IRON ROD (UNLESS NOTED OTHERWISE)
- SET 5/8" IRON ROD (PD)
- SET 5/8" IRON ROD (PD)-ROW
- AC = ACRE
- AE = AERIAL EASEMENT
- SSE = SANITARY SEWER EASEMENT
- STM SE = STORM SEWER EASEMENT
- WLE = WATER LINE EASEMENT
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- HCMR = HARRIS COUNTY MAP RECORDS
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- HCOPRRP = OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
- HCFCO = HARRIS COUNTY FLOOD CONTROL DISTRICT
- OPRRPHC = OFFICIAL PUBLIC RECORDS OF HARRIS COUNTY TEXAS
- HCCF NO. = HARRIS COUNTY CLERK'S FILE NUMBER



STERLING LAKES

NORTH SEC 1

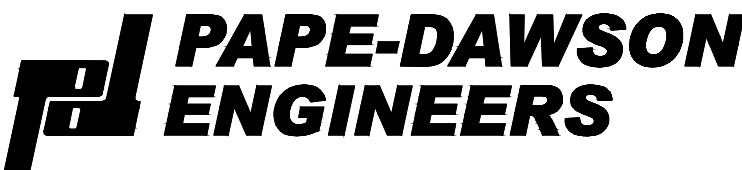
PRELIMINARY PLAT

A SUBDIVISION OF 98.190 ACRES
LOCATED IN THE H.T. & B.R.R. CO.
SURVEY, ABSTRACT NO. 516
BRAZORIA COUNTY, TEXAS

211 LOTS 11 RESERVES 8 BLOCKS

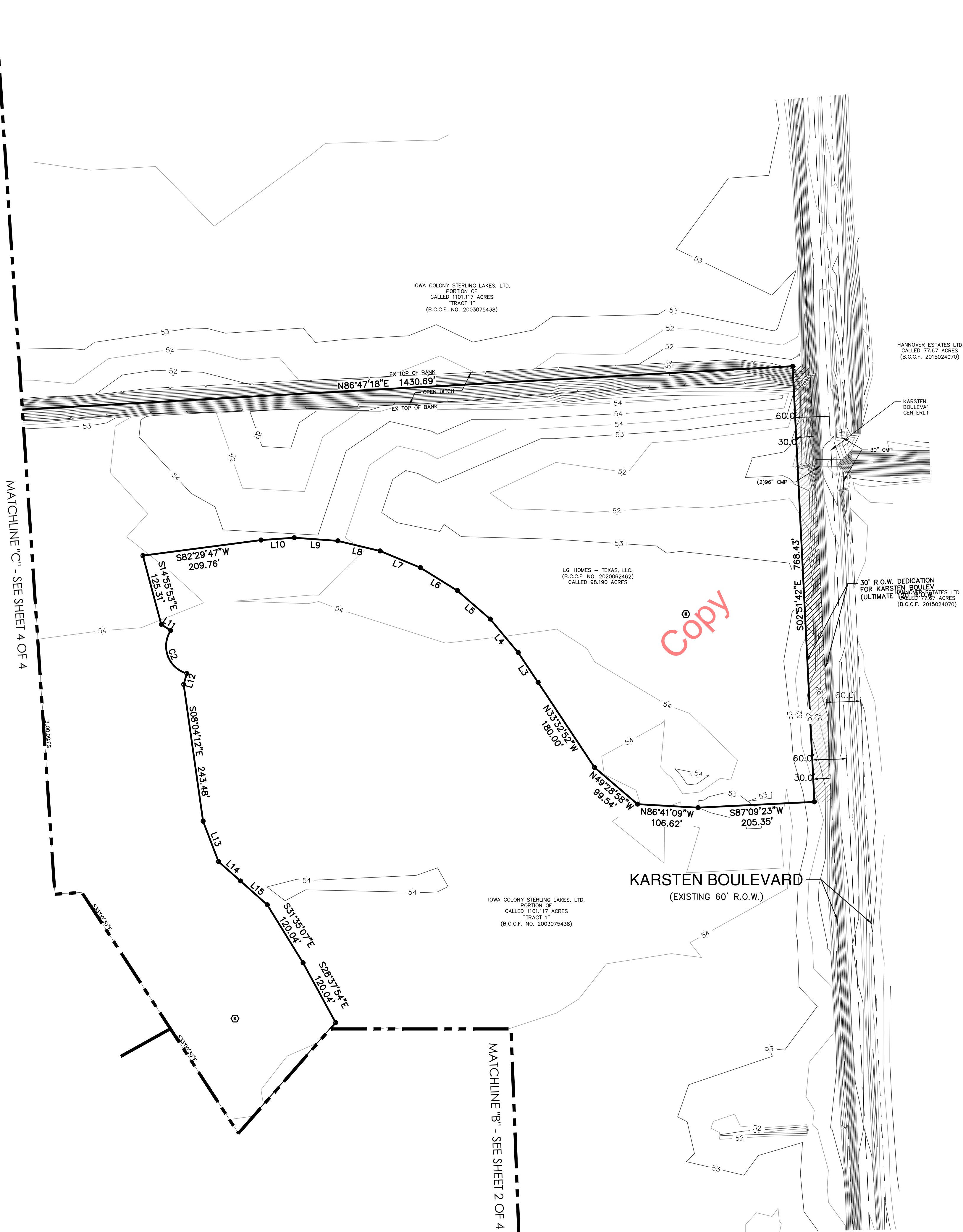
SCALE: 1"= 100' SEPTEMBER 2020

OWNER:
LGI HOMES-TEXAS, LLC, A TEXAS LIMITED LIABILITY COMPANY
JACK LIPAR
EXECUTIVE VICE PRESIDENT
1450 LAKE ROBBINS DRIVE, SUITE 430
THE WOODLANDS, TEXAS 77380
TEL. 281.362.8998



HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10333 RICHMOND AVE, STE 900 | HOUSTON, TX 77042 | 713.428.2400
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10193974

- (A) RESTRICTED RESERVE
(RESTRICTED TO UTILITY, LANDSCAPE,
OR OPEN SPACE PURPOSES ONLY)
5.9 AC. 260,348 SQ.FT.
- (B) RESTRICTED RESERVE
(RESTRICTED TO UTILITY, LANDSCAPE,
OR OPEN SPACE PURPOSES ONLY)
0.2 AC. 9,154 SQ.FT.
- (C) RESTRICTED RESERVE
(RESTRICTED TO UTILITY, LANDSCAPE,
OR OPEN SPACE PURPOSES ONLY)
0.4 AC. 18,591 SQ.FT.
- (D) RESTRICTED RESERVE
(RESTRICTED TO UTILITY, LANDSCAPE,
OR OPEN SPACE PURPOSES ONLY)
0.3 AC. 13,806 SQ.FT.
- (E) RESTRICTED RESERVE
(RESTRICTED TO UTILITY, LANDSCAPE,
OR OPEN SPACE PURPOSES ONLY)
0.047 AC. 2,049 SQ.FT.
- (F) RESTRICTED RESERVE
(RESTRICTED TO UTILITY, LANDSCAPE,
OR OPEN SPACE PURPOSES ONLY)
0.354 AC. 15,430 SQ.FT.
- (G) RESTRICTED RESERVE
(RESTRICTED TO UTILITY, LANDSCAPE,
OR OPEN SPACE PURPOSES ONLY)
0.252 AC. 10,957 SQ.FT.
- (H) RESTRICTED RESERVE
(RESTRICTED TO UTILITY, LANDSCAPE,
OR OPEN SPACE PURPOSES ONLY)
0.104 AC. 4,535 SQ.FT.
- (I) RESTRICTED RESERVE
(RESTRICTED TO UTILITY, LANDSCAPE,
OR OPEN SPACE PURPOSES ONLY)
0.149 AC. 6,507 SQ.FT.
- (J) RESTRICTED RESERVE
(RESTRICTED TO UTILITY, LANDSCAPE,
OR OPEN SPACE PURPOSES ONLY)
1.025 AC. 44,664 SQ.FT.
- (K) RESTRICTED RESERVE
(RESTRICTED TO UTILITY, LANDSCAPE,
OR OPEN SPACE PURPOSES ONLY)
37.63 AC. 1,639,547 SQ.FT.



Wednesday, July 28, 2021

Brad Sweitzer
EHRA Inc.
10555 Westoffice Dr.
Houston, TX 77042

Re: Meridiana Section 58B Preliminary Plat
Letter of Recommendation to Approve
City of Iowa Colony Project No. SPP 210707-0892
Adico, LLC Project No. 16007-2-206

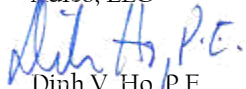
Dear Mr. Sweitzer;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed the second submittal of the preliminary plat package for Meridiana Section 58B, received on or about July 22, 2021. The review of the plat is based on the City of Iowa Colony Subdivision Ordinance No. 2019-09 dated August 2002, and as amended.

Based upon our review, we have no objections to the preliminary plat as resubmitted on July 22, 2021. Please provide ten (10) prints of the plat to Kayleen Rosser, City Secretary, by no later than July 29, 2021, for consideration at the August 3, 2021, Planning and Zoning meeting.

Should you have any questions, please do not hesitate to call me.

Sincerely,
Adico, LLC


Dinh V. Ho, P.E.
TBPE Firm No. 16423

Copy

Cc: Kayleen Rosser, City Secretary (krosser@iowacolonytx.gov)
Robert Hemminger, City Manager, (rhemminger@iowacolonytx.gov)
Ron Cox, (rcox@roncoxconsulting.com)
File: 16007-2-206

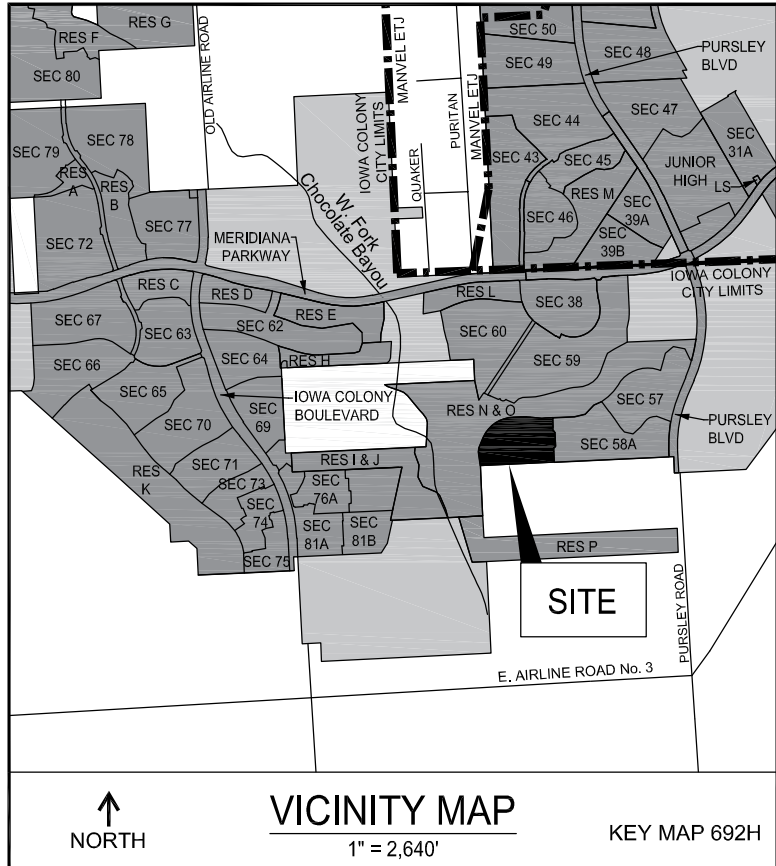
GENERAL NOTES:

- Bearing orientation is based on the Texas State Plane Coordinate System of 1983, South Central Zone as determined by GPS measurements.
- The Coordinates shown hereon are Texas South Central Zone No. 4204 state plane grid coordinates (NAD 83) and may be brought to surface by applying the following scale factor: 0.99986742185.
- According to the Federal Emergency Management Agency Flood Insurance Rate Map, Brazoria County, Texas, Community Panel No.480392010K, dated December 30, 2020, the property lies partially within Unshaded Zone X, partially within Shaded Zone X, and partially within Shaded Zone AE.

This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man-made or natural causes. The location of the flood zone was determined by scaling from said FEMA map. The actual location, as determined by elevation contours, may differ. Edminster, Hinchey, Russ & Associates, Inc. d/b/a EHRA, assumes no liability as to the accuracy of the location of the flood zone limits. This flood statement shall not create liability on the part of Edminster, Hinchey, Russ & Associates, Inc. d/b/a EHRA.
- B.C.C.F. indicates Brazoria County Clerk's File.
B.C.P.R. indicates Brazoria County Plot Records.
B.L. indicates Building Line.
D.E. indicates Drainage Easement.
M.H. indicates Manhole.
P.B. indicates Page.
P.A.E. indicates Permanent Access Easement.
P.O.B. indicates Point of Beginning.
P.U.E. indicates Public Utility Easement.
P.V. indicates Private.
R indicates Radius.
R.O.W. indicates Right-Of-Way.
S.S.E. indicates Sanitary Sewer Easement.
S.T.M.S.E. indicates Storm Sewer Easement.
U.E. indicates Utility Easement.
V.O.L. indicates Volume.
W.L.E. indicates Water Line Easement.
↗ indicates change in street name.
- The property subdivided in the foregoing plot lies in Brazoria County, the City of Iowa Colony, Brazoria County Municipal Utility District No. 55, and Brazoria County Drainage District No. 5.
- Property within the boundaries of this plat and adjacent to any drainage easement, ditch, gully, creek, or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences, buildings, plantings, and other obstructions.
- The Developer/Homeowners' Association shall be responsible for maintenance of all reserves.
- Contour lines shown hereon are based on the NGS Benchmark E 306 being noted hereon.
- Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.
- The approval of the preliminary plat shall expire twelve (12) months after City Council approval unless the final plat has been submitted for final approval during that time. An extension of time may be given at the discretion of the City Council for a single extension period of six (6) months.
- Drainage plans to be provided prior to final plat submittal.
- This plat is subject to the Development Agreement for Meridiana PUD Amendment Number 3.
- This proposed 20' Sanitary Sewer Easement will be recorded by separate instrument.
- Approval of this plat shall be subject to the infrastructure completion and final plat approval and recording of Meridiana Section 57 and Section 58A.

RESERVE TABLE			
RESERVE	RESTRICTIONS	SQ. FT	ACREAGE
A	LANDSCAPE, OPEN SPACE, & UTILITY PURPOSES	17,676.37	0.41
B	LANDSCAPE, OPEN SPACE, & UTILITY PURPOSES	2,540.00'	0.06
TOTAL		20,216.37	0.47

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.27'	S 47°43'11" E	35.36'
C2	25.00'	39.27'	S 42°16'49" W	35.36'



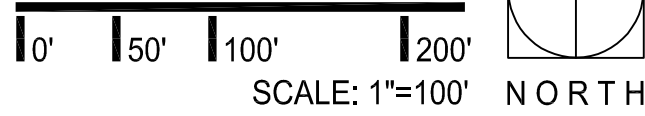
LINE TABLE		
LINE	ANGLE	DISTANCE
L1	N 07°33'31" E	61.24'
L2	N 22°25'14" E	151.99'
L3	N 28°28'20" E	71.35'
L4	N 36°50'07" E	64.86'
L5	N 44°47'58" E	61.86'
L6	N 52°45'49" E	64.86'
L7	N 60°43'40" E	64.86'
L8	N 68°41'31" E	64.86'
L9	N 76°39'22" E	64.86'
L10	N 84°24'03" E	62.40'
L11	N 87°16'49" E	75.00'
L12	N 88°10'10" E	59.72'
L13	S 88°29'46" E	56.33'
L14	S 85°09'10" E	55.51'
L15	S 83°50'56" E	50.00'
L16	S 84°15'21" E	49.51'
L17	S 87°53'51" E	48.87'
L18	N 88°05'33" E	49.30'
L19	N 87°16'49" E	101.17'
L20	S 02°43'11" E	127.00'
L21	S 87°16'49" W	4.53'
L22	S 02°43'11" E	50.00'
L23	S 02°43'11" E	190.00'
L24	S 87°16'49" W	1.45'
L25	S 02°43'11" E	195.00'



OWNER CONTACT INFORMATION
GR-M1, LTD., A TEXAS LIMITED PARTNERSHIP
1602 AVENUE D, STE. 100
KATY, TX 77493
832-916-2162

BENCHMARK(S):

NGS MONUMENT # E 306 DISK SET IN TOP OF CONCRETE MONUMENT, LOCATED 2.0 MILES WEST OF MANVEL, 2 MILES WEST ALONG THE GULF, COLORADO AND SANTA FE RAILWAY FROM THE STATION AT MANVEL, BRAZORIA COUNTY, 0.2 MILE WEST OF A SHELL-ROAD CROSSING, S-1/2 FEET NORTHWEST OF MILE POLE 38, 39 FEET SOUTH OF THE SOUTH RAIL, 33 FEET NORTH OF THE CENTERLINE OF A DIRT ROAD, 6.7 FEET NORTH OF THE RIGHT-OF-WAY FENCE, 3 FEET WEST OF A WHITE WOODEN WITNESS POST AND SET IN THE TOP OF A CONCRETE POST ABOUT FLUSH WITH THE GROUND.
ELEV.=52.00 (NAVD '88) 1991 ADJUSTMENT



Meridiana Section 58B

A Subdivision of 13.97 acres out of the H.T. & B. R.R. Co. Survey, Section 53, A-287, City of Iowa Colony, Brazoria County, Texas.

64 Lots, 2 Blocks and 2 Reserves

Owner: GR-M1, LTD., a Texas Limited Partnership

July 26, 2021



10011 MEADOWGLEN LANE
HOUSTON, TEXAS 77042
713.784.4500
WWW.EHRAINCC.COM
TBE No. F-726
TBE No. 10092300
081-011-56-02

Tuesday, August 10, 2021

Mayor Michael Byrum-Bratsen
City Council
City of Iowa Colony
12003 Iowa Colony Blvd.
Iowa Colony, TX 77553

**Re: Karsten Boulevard North Phase I-Water and Sanitary Facilities
Brazoria County MUD 31
Recommendation for Approval into One-Year Maintenance Period
City of Iowa Colony Project No. CSW 200707-0729
Adico, LLC Project No. 16007-4-304**

Dear Mayor Byrum-Bratsen and City Council;

On behalf of the City of Iowa Colony, Adico, LLC has completed its final inspection of Karsten Boulevard North Phase I Water and Sanitary facilities. The final inspection was held January 8, 2021 and all punch list items completed on or about January 18, 2021.

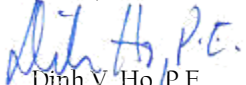
Based on our review of the closeout documents provided, Adico, LLC recommends approval of Water and Sanitary facilities into the One-Year Maintenance Period. The maintenance period shall be effective August 16, 2021, if approved by City Council.

In compliance with the City of Iowa Colony Public Works and Engineering Subdivision Acceptance Checklist, please find included in the One-Year Maintenance acceptance package the following items:

1. Engineer of Record Certification Letter
2. Maintenance Bond
3. As-Builts (cover only)

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC


Dinh V. Ho, P.E.
TBPE Firm No. 16423

Cc: Kayleen Rosser, City Secretary
Robert Hemminger, City Manager



Engineer's Certificate of Substantial Completion

OWNER: Brazoria County Municipal Utility District No. 31
3200 Southwest Freeway, Suite 2600
Houston, Texas 77027

CONTRACT: Construction of Water, Sanitary, Drainage, and Paving
Facilities for Karsten Boulevard North Phase I

CONTRACTOR: Rodriguez Construction Group, LLC
2647 Jo Ann Street
Stafford, Texas 77477

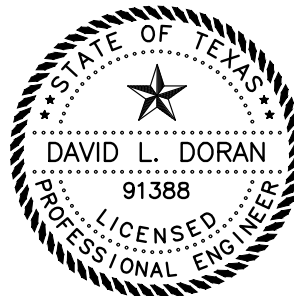
ENGINEER: Elevation Land Solutions
2445 Technology Forest Boulevard,
Suite 200 The Woodlands, Texas
77381

I hereby certify that this project is substantially complete as of January 13, 2021; that the project was under periodic observation during construction; that all observation of the work was performed by or under my supervision; that to the best of my knowledge, the project was in accordance with and includes all items in plans and specifications approved by all authorities having jurisdiction; and "record drawings" will be furnished to the Owner.

Sincerely,

David L Doran, P.E., CCM
Partner, Construction Management

DLD/mm



August 8, 2021

MAINTENANCE BOND

STATE OF TEXAS

Contract Date _____

COUNTY OF BRAZORIA

Date Bond Executed _____

PRINCIPAL RODRIGUEZ CONSTRUCTION GROUP, LLC

SURETY THE GUARANTEE COMPANY OF NORTH AMERICA USA

OWNER Brazoria County Municipal Utility District No. 31 and City of Iowa Colony

PENAL SUM OF BOND (in words and figures) Five Hundred Ninety Eight Thousand Five Hundred Twenty Nine Dollars and Fifty Five Cents (\$598,529.55), being 100 percent of the Contract Price.

CONTRACT for Construction of Water, Sanitary, Drainage, and Paving for Karsten Boulevard North Phase I for Brazoria County Municipal Utility District No. 31, Brazoria County, Texas (the "Contract").

KNOW ALL PERSONS BY THESE PRESENTS, that we, Principal and Surety above named, are held and firmly bound unto Owner, its successors and assigns, in the penal sum of the amount stated above, for the payment of which sum well and truly to be made, we bind ourselves and our respective heirs, executors, administrators, officers, directors, shareholders, partners, successors, and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal entered into that certain Contract with Owner, which Contract is expressly incorporated herein for all purposes.

NOW, THEREFORE, THE CONDITIONS OF THIS OBLIGATION IS SUCH, that if Principal well and truly repair any and all defects in the work occasioned by or resulting from defects in materials furnished by, or workmanship of, the Principal in performing the work covered by the Contract, including any guaranty or warranty required under the Contract, then this obligation is void; otherwise it is to remain in full force and effect. Should the Principal fail to well and truly repair any and all defects in the work occasioned by or resulting from defects in materials furnished by, or workmanship of, the Principal in performing the work as required by the Contract in all its terms, the Surety will be liable for all damages, losses, expenses and liabilities that the Owner may suffer in consequence thereof.

The parties intend this maintenance bond to be a common law bond to be constructed in accordance with Texas law.

Surety hereby agrees, for value received, that no change, extension of time, alteration or addition to the terms of the Contract or to work performed under the Contract, or to the plans, specifications or drawings accompanying the Contract, will in any way affect its obligations on this Bond and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the Contract or to the work to be performed thereunder.

The bound parties have executed this instrument pursuant to authority of their respective governing body, to be effective on the same date of the Contract.

Rodriguez Construction Group, LLC

PRINCIPAL

By

Name Roy Rodriguez

Title President

Address 2647 Jo Ann Street

Stafford, TX 77477

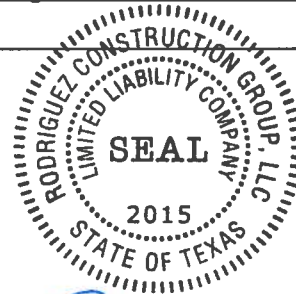
ATTEST

By

Name Joanne Rodriguez

Title Secretary

(SEAL)



The Guarantee Company of North America USA
SURETY

By

Name Jillian O'Neal

Title Attorney-in-Fact

ATTEST

By

Name Hannah Montagne

Title Assist. Account Manager

(SEAL)

Physical Address:

605 Highway 169 North

Suite 800

Plymouth, MN 55441

Mailing Address:

605 Highway 169 North

Suite 800

Plymouth, MN 55441

Telephone: (800) 321-2721

Local Recording Agent Personal Identification Number:

1903053

Agency Name: Technical Assurance, LLC

Agency Address 26623 Oak Ridge Dr., The Woodlands, TX 77380

Agency Telephone (281) 296-9997

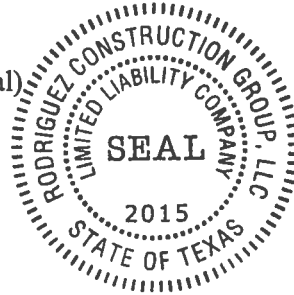
Surety must attach its original Power of Attorney to this Bond.

CERTIFICATE AS TO CORPORATE PRINCIPAL

I, Joanne Rodriguez, certify that I am the secretary of the corporation named as Principal in the Bond; that Roy Rodriguez, who signed the Bond on behalf of Principal, was then President of the corporation; that I know his or her signature, and his or her signature is genuine; and that the Bond was duly signed for and on behalf of the corporation by authority of its governing body.

Joanne Rodriguez
Signature of Corporate Secretary

(Corporate Seal)



ATTACH POWER OF ATTORNEY

Copy



POWER OF ATTORNEY

KNOW ALL BY THESE PRESENTS: That **THE GUARANTEE COMPANY OF NORTH AMERICA USA**, a corporation organized and existing under the laws of the State of Michigan, having its principal office in Southfield, Michigan, does hereby constitute and appoint **Edward Arens, Philip Baker, Michele Bonnin, Erica A. Cox, Rebecca Garza, Jillian O'Neal** its true and lawful attorney(s)-in-fact to execute, seal and deliver for and on its behalf as surety, any and all bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof, which are or may be allowed, required or permitted by law, statute, rule, regulation, contract or otherwise.

The execution of such instrument(s) in pursuance of these presents, shall be as binding upon **THE GUARANTEE COMPANY OF NORTH AMERICA USA** as fully and amply, to all intents and purposes, as if the same had been duly executed and acknowledged by its regularly elected officers at the principal office.

The Power of Attorney is executed and may be certified so, and may be revoked, pursuant to and by authority of Article IX, Section 9.03 of the By-Laws adopted by the Board of Directors of **THE GUARANTEE COMPANY OF NORTH AMERICA USA** at a meeting held on the 31st day of December, 2003. The President, or any Vice President, acting with any Secretary or Assistant Secretary, shall have power and authority:

1. To appoint Attorney(s)-in-fact, and to authorize them to execute on behalf of the Company, and attach the Seal of the Company thereto, bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof; and
2. To revoke, at any time, any such Attorney-in-fact and revoke the authority given, except as provided below
3. In connection with obligations in favor of the Florida Department of Transportation only, it is agreed that the power and authority hereby given to the Attorney-in-Fact includes any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts required by the State of Florida Department of Transportation. It is fully understood that consenting to the State of Florida Department of Transportation making payment of the final estimate to the Contractor and/or its assignee, shall not relieve this surety company of any of its obligations under its bond.
4. In connection with obligations in favor of the Kentucky Department of Highways only, it is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner - Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation.

Further, this Power of Attorney is signed and sealed by facsimile pursuant to resolution of the Board of Directors of the Company adopted at a meeting duly called and held on the 6th day of December 2011, of which the following is a true excerpt:

RESOLVED that the signature of any authorized officer and the seal of the Company may be affixed by facsimile to any Power of Attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, contracts of indemnity and other writings obligatory in the nature thereof, and such signature and seal when so used shall have the same force and effect as though manually affixed.

IN WITNESS WHEREOF, **THE GUARANTEE COMPANY OF NORTH AMERICA USA** has caused this instrument to be signed and its corporate seal to be affixed by its authorized officer, this 26th day of May, 2020.

THE GUARANTEE COMPANY OF NORTH AMERICA USA



Paul J. Brehm

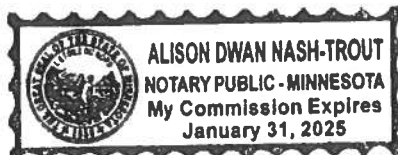
Paul J. Brehm, Senior Vice President

Chad A. Anderson

Chad A. Anderson, Senior Vice President Specialty

**STATE OF MINNESOTA
Hennepin County**

On this 26th day of May, 2020 before me came the individuals who executed the preceding instrument, to me personally known, and being by me duly sworn, said that each is the herein described and authorized officer of The Guarantee Company of North America USA; that the seal affixed to said instrument is the Corporate Seal of said Company; that the Corporate Seal and each signature were duly affixed by order of the Board of Directors of said Company.



IN WITNESS WHEREOF, I have hereunto set my hand at The Guarantee Company of North America USA offices the day and year above written.

Alison Nash-Trout

I, Chad A. Anderson, Senior Vice President of **THE GUARANTEE COMPANY OF NORTH AMERICA USA**, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney executed by **THE GUARANTEE COMPANY OF NORTH AMERICA USA**, which is still in full force and effect.



IN WITNESS WHEREOF, I have thereunto set my hand and attached the seal of said Company this ____ day of _____, ____.

Chad A. Anderson

Chad A. Anderson, Senior Vice President Specialty

FINAL APPROVAL

Wednesday, August 11, 2021

Mayor Michael Byrum-Bratsen
City Council
City of Iowa Colony
12003 Iowa Colony Blvd.
Iowa Colony, TX 77553

Re: Crystal View Drive Phase III – Water, Sanitary, Storm and Paving Facilities
Brazoria County MUD 53
Recommendation for Approval into One-Year Maintenance Period
City of Iowa Colony Project No. CSW 201015-1199
Adico, LLC Project No. 16007-4-323

Dear Mayor Byrum-Bratsen and City Council;

On behalf of the City of Iowa Colony, Adico, LLC has completed its final inspection of Crystal View Drive Phase III Water, Sanitary, Storm and Paving facilities. The final inspection was held August 2, 2021 and all punch list items completed on or about August 11, 2021.

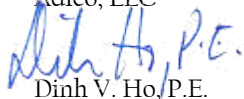
Based on our review of the closeout documents provided, Adico, LLC recommends approval of Crystal View Drive Phase III Water, Sanitary, Storm and Paving facilities into the One-Year Maintenance Period. The maintenance period shall be effective August 16, 2021, if approved by City Council.

In compliance with the City of Iowa Colony Public Works and Engineering Subdivision Acceptance Checklist, please find included in the One-Year Maintenance acceptance package the following items:

1. Engineer of Record Certification Letter
2. Maintenance Bond
3. As-Builts (cover only)

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC



Dinh V. Ho, P.E.
TBPE Firm No. 16423

Cc: Kayleen Rosser, City Secretary
Robert Hemminger, City Manager



Engineer's Certificate of Substantial Completion

OWNER: Brazoria County Municipal Utility District No. 53
3200 Southwest Freeway, Suite 2600
Houston, Texas 77027

CONTRACT: Construction of Water, Sanitary, Drainage, and Paving
Facilities for Crystal View Drive Phase III

CONTRACTOR: Rodriguez Construction Group, LLC
2647 Jo Ann Street
Stafford, Texas 77477

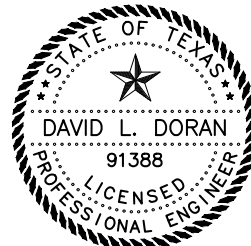
ENGINEER: Elevation Land Solutions
2445 Technology Forest Boulevard,
Suite 200 The Woodlands, Texas
77381

I hereby certify that this project is substantially complete as of August 2, 2021; that the project was under periodic observation during construction; that all observation of the work was performed by or under my supervision; that to the best of my knowledge, the project was in accordance with and includes all items in plans and specifications approved by all authorities having jurisdiction; and "Record Drawings" will be furnished to the Owner.

Sincerely,

David L Doran, P.E., CCM
Director of Construction Management

DLD/mm



August 11, 2021

MAINTENANCE BOND

BOND NO. 70188817

STATE OF TEXAS

Contract Date 11-2-2020

COUNTY OF BRAZORIA

Date Bond Executed 11-2-2020

PRINCIPAL Rodriguez Construction Group, LLC.

SURETY The Guarantee Company of North America USA

OWNER Brazoria County Municipal Utility District No. 53

PENAL SUM OF BOND (in words and figures) **One Million Six Hundred Thirty Thousand Four Hundred Dollars and Zero Cents (\$1,630,400.00)**, being 100 percent of the Contract Price.

CONTRACT for Construction of Water, Sanitary, Drainage, and Paving Facilities for Crystal View Drive Phase III for Brazoria County Municipal District No. 53, Brazoria County, Texas (the "Contract").

KNOW ALL PERSONS BY THESE PRESENTS, that we, Principal and Surety above named, are held and firmly bound unto Owner, its successors and assigns, in the penal sum of the amount stated above, for the payment of which sum well and truly to be made, we bind ourselves and our respective heirs, executors, administrators, officers, directors, shareholders, partners, successors, and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal entered into that certain Contract with Owner, which Contract is expressly incorporated herein for all purposes.

NOW, THEREFORE, THE CONDITIONS OF THIS OBLIGATION IS SUCH, that if Principal well and truly repair any and all defects in the work occasioned by or resulting from defects in materials furnished by, or workmanship of, the Principal in performing the work covered by the Contract, including any guaranty or warranty required under the Contract, then this obligation is void; otherwise it is to remain in full force and effect. Should the Principal fail to well and truly repair any and all defects in the work occasioned by or resulting from defects in materials furnished by, or workmanship of, the Principal in performing the work as required by the Contract in all its terms, the Surety will be liable for all damages, losses, expenses and liabilities that the Owner may suffer in consequence thereof.

The parties intend this maintenance bond to be a common law bond to be constructed in accordance with Texas law.

Surety hereby agrees, for value received, that no change, extension of time, alteration or addition to the terms of the Contract or to work performed under the Contract, or to the plans, specifications or drawings accompanying the Contract, will in any way affect its obligations on this Bond and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the Contract or to the work to be performed thereunder.

The bound parties have executed this instrument pursuant to authority of their respective governing body, to be effective on the same date of the Contract.

Rodriguez Construction Group, LLC.

PRINCIPAL

By [Signature]

Name Roy Rodriguez

Title President

Address 2647 Jo Ann Street

Stafford, TX 77477

ATTEST

By [Signature]

Name Joanne Rodriguez

Title Secretary

(SEAL)

The Guarantee Company of North America USA
SURETY

By [Signature]

Name Jillian O'Neal

Title Attorney-in-Fact

ATTEST

By [Signature]

Name Rebecca Garza

Title Account Manager

(SEAL)

Physical Address:

One Towne Square

Suite 1470

Southfield, MI 48076

Mailing Address:

One Towne Square

Suite 1470

Southfield, MI 48076

Telephone: (866) 328-0567

Local Recording Agent Personal Identification Number:

1903053

Agency Name: Technical Assurance, L.L.C.

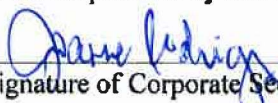
Agency Address 26623 Oak Ridge Drive, The Woodlands, TX 77380

Agency Telephone (281) 296-9997

Surety must attach its original Power of Attorney to this Bond.

CERTIFICATE AS TO CORPORATE PRINCIPAL

I, Joanne Rodriguez, certify that I am the secretary of the corporation named as Principal in the Bond; that Roy Rodriguez, who signed the Bond on behalf of Principal, was then President of the corporation; that I know his or her signature, and his or her signature is genuine; and that the Bond was duly signed for and on behalf of the corporation by authority of its governing body.

 (Corporate Seal)
Signature of Corporate Secretary

ATTACH POWER OF ATTORNEY

Copy



The Guarantee Company of North America USA
Southfield, Michigan

POWER OF ATTORNEY

NOW ALL BY THESE PRESENTS: That THE GUARANTEE COMPANY OF NORTH AMERICA USA, a corporation organized and existing under the laws of the State of Michigan, having its principal office in Southfield, Michigan, does hereby constitute and appoint

Edward Arens, Philip Baker, Michele Bonnin, Jillian O'Neal, Erica A. Cox, Rebecca Garza Technical Assurance, L.L.C.

its true and lawful attorney(s)-in-fact to execute, seal and deliver for and on its behalf as surety, any and all bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof, which are or may be allowed, required or permitted by law, statute, rule, regulation, contract or otherwise.

The execution of such instrument(s) in pursuance of these presents, shall be as binding upon THE GUARANTEE COMPANY OF NORTH AMERICA USA as fully and amply, to all intents and purposes, as if the same had been duly executed and acknowledged by its regularly elected officers at the principal office.

The Power of Attorney is executed and may be certified so, and may be revoked, pursuant to and by authority of Article IX, Section 9.03 of the By-Laws adopted by the Board of Directors of THE GUARANTEE COMPANY OF NORTH AMERICA USA at a meeting held on the 31st day of December, 2003. The President, or any Vice President, acting with any Secretary or Assistant Secretary, shall have power and authority:

1. To appoint Attorney(s)-in-fact, and to authorize them to execute on behalf of the Company, and attach the Seal of the Company thereto, bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof; and
2. To revoke, at any time, any such Attorney-in-fact and revoke the authority given, except as provided below
3. In connection with obligations in favor of the Florida Department of Transportation only, it is agreed that the power and authority hereby given to the Attorney-in-Fact includes any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts required by the State of Florida Department of Transportation. It is fully understood that consenting to the State of Florida Department of Transportation making payment of the final estimate to the Contractor and/or its assignee, shall not relieve this surety company of any of its obligations under its bond.
4. In connection with obligations in favor of the Kentucky Department of Highways only, it is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner - Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation.

Further, this Power of Attorney is signed and sealed by facsimile pursuant to resolution of the Board of Directors of the Company adopted at a meeting duly called and held on the 6th day of December 2011, of which the following is a true excerpt:

RESOLVED that the signature of any authorized officer and the seal of the Company may be affixed by facsimile to any Power of Attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, contracts of indemnity and other writings obligatory in the nature thereof, and such signature and seal when so used shall have the same force and effect as though manually affixed.

IN WITNESS WHEREOF, THE GUARANTEE COMPANY OF NORTH AMERICA USA has caused this instrument to be signed and its corporate seal to be affixed by its authorized officer, this 1st day of March, 2018.



THE GUARANTEE COMPANY OF NORTH AMERICA USA

Stephen C. Ruschak

Randall Musselman

STATE OF MICHIGAN
County of Oakland

Stephen C. Ruschak, President & Chief Operating Officer

Randall Musselman, Secretary

On this 1st day of March, 2018 before me came the individuals who executed the preceding instrument, to me personally known, and being by me duly sworn, said that each is the herein described and authorized officer of The Guarantee Company of North America USA; that the seal affixed to said instrument is the Corporate Seal of said Company; that the Corporate Seal and each signature were duly affixed by order of the Board of Directors of said Company.



Cynthia A. Takai
Notary Public, State of Michigan
County of Oakland

My Commission Expires February 27, 2024
Acting in Oakland County

IN WITNESS WHEREOF, I have hereunto set my hand at The Guarantee Company of North America USA offices the day and year above written.

Cynthia A. Takai

I, Randall Musselman, Secretary of THE GUARANTEE COMPANY OF NORTH AMERICA USA, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney executed by THE GUARANTEE COMPANY OF NORTH AMERICA USA, which is still in full force and effect.



IN WITNESS WHEREOF, I have thereunto set my hand and attached the seal of said Company this 2nd day of November, 2020

Randall Musselman

Randall Musselman, Secretary



TEXAS CONSUMER NOTICE

1. IMPORTANT NOTICE

To obtain information or make a complaint:

2. You may contact your **agent** at:
3. You may call The Guarantee Company of North America USA's toll-free telephone number for information or to make a complaint at:
1-866-328-0567
4. You may also write to The Guarantee Company of North America USA at:

One Towne Square, Suite 1470
Southfield, Michigan 48076
Web: www.theguaranteeus.com
E-mail: Claims.US@theguarantee.com
Fax: 248-750-0431

5. You may contact the Texas Department of Insurance to obtain information on companies, coverages, rights or complaints at: 1-800-252-3439
6. You may write the Texas Department of Insurance:
333 Guadalupe Street
P.O. Box 149104
Austin, TX 78701
Fax: (512) 490-1007
Web: <http://www.tdi.texas.gov>
E-mail: ConsumerProtection@tdi.texas.gov
7. **PREMIUM OR CLAIM DISPUTES:**
Should you have a dispute concerning your premium or about a claim you should contact the (agent) (company) (agent or the company) first. If the dispute is not resolved, you may contact the Texas Department of Insurance.

8. **ATTACH THIS NOTICE TO YOUR POLICY:**
This notice is for information only and does not become a part or condition of the attached document.

AVISO IMPORTANTE

Para obtener información o presentar una queja:

Puede contactar a su **agente** en:

Puede llamar al número de teléfono gratuito de The Guarantee Company of North America USA para obtener información o presentar una queja en:
1-866-328-0567

También puede escribir a The Guarantee Company of North America USA a;

One Towne Square, Suite 1470
Southfield, Michigan 48076
Web: www.theguaranteeus.com
E-mail: Claims.US@theguarantee.com
Fax: 248-750-0431

Puede comunicarse con el Departamento de Seguros de Texas para obtener información sobre compañías, coberturas, derechos o quejas en: 1-800-252-3439

Puede escribir al Departamento de Seguros de Texas:
333 Guadalupe Street
P.O. Box 149104
Austin, TX 78701
Fax: (512) 490-1007
Web: <http://www.tdi.texas.gov>
E-mail: ConsumerProtection@tdi.texas.gov

DISPUTAS PREMIUM O DE RECLAMACIÓN:

Si tiene una disputa sobre su prima o sobre un reclamo, debe comunicarse primero con el (agente) (compañía) agente o la compañía). Si la disputa no se resuelve, puede comunicarse con el Departamento de Seguros de Texas (TDI).

ADJUNTE ESTE AVISO A SU POLÍTICA: Este aviso es solo para información y no se convierte en parte o condición del documento adjunto.

Wednesday, August 11, 2021

Mayor Michael Byrum-Bratsen
City Council
City of Iowa Colony
12003 Iowa Colony Blvd.
Iowa Colony, TX 77553

Re: Ames Boulevard Phase I – Storm and Paving Facilities
Brazoria County MUD 53
Recommendation for Approval into One-Year Maintenance Period
City of Iowa Colony Project No. CSW 200320-0285
Adico, LLC Project No. 16007-4-278

Dear Mayor Byrum-Bratsen and City Council;

On behalf of the City of Iowa Colony, Adico, LLC has completed its final inspection of Ames Boulevard Phase I – Storm and Paving facilities. The final inspection was held July 2, 2020 and all punch list items completed on or about July 24, 2020.

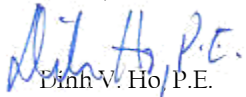
Based on our review of the closeout documents provided, Adico, LLC recommends approval of Ames Boulevard Phase I -Storm and Paving facilities into the One-Year Maintenance Period. The maintenance period shall be effective August 16, 2021, if approved by City Council.

In compliance with the City of Iowa Colony Public Works and Engineering Subdivision Acceptance Checklist, please find included in the One-Year Maintenance acceptance package the following items:

1. Engineer of Record Certification Letter
2. Maintenance Bond
3. As-Builts (cover only)

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC


Dinh V. Ho, P.E.
TBPE Firm No. 16423

Cc: Kayleen Rosser, City Secretary
Robert Hemminger, City Manager



Engineer's Certificate of Substantial Completion

OWNER: Brazoria County Municipal Utility District No. 53
3200 Southwest Freeway, Suite 2600
Houston, Texas 77027

CONTRACT: Construction of Paving Facilities
for Ames Blvd Phase 1 Paving
Future Bond Issue

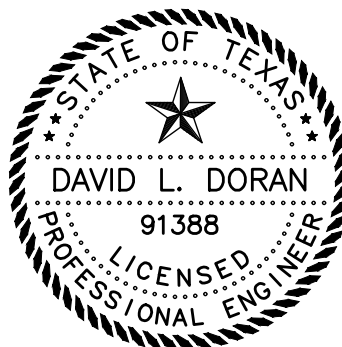
CONTRACTOR: Lindsey Construction, Inc.
P.O. Box 73169
Houston, TX 77273

ENGINEER: Manhard Consulting
2445 Technology Forest Boulevard, Suite 200
The Woodlands, Texas 77381

I hereby certify that this project is substantially complete as of June 22, 2020; that the project was under periodic observation during construction; that all observation of the work was performed by or under my supervision; that to the best of my knowledge, the project was in accordance with and includes all items in plans and specifications approved by all authorities having jurisdiction; and "record drawings" will be furnished to the Owner.

Sincerely,

David L Doran, P.E., CCM
Director of Construction Management



BOND

Bond No. **PRF9370740**

THE STATE OF TEXAS
COUNTY OF BRAZORIA

§
§
§

KNOW ALL MEN BY THESE PRESENTS:

THAT WE, **Land Tejas Sierra Vista West, LLC** whose *(street address/phone)* is **2450 Fondren Road Suite 210 Houston, Texas 77063/713-783-6702**, hereinafter called the Principal, and *(Surety)* **Colonial American Casualty and Surety Company**, a Corporation existing under and by virtue of the laws of the State of **Illinois**, and authorized to do an indemnifying business in the State of Texas, and whose principal office is located at *(street address/phone)* **1299 Zurich Way, 5th Floor, Schaumburg, IL 60196**, whose officer residing in the State of Texas, authorized to accept service in all suits and actions brought within said State is *(name/office)* **John Newby, Mullis Newby Hurst**, and whose *(street address/phone)* is **5057 Keller Springs Rd #400, Addison, TX 75001**, hereinafter called the Surety, and held and firmly bound unto L. M. (Matt) Sebesta, Jr., County Judge of Brazoria County, Texas or his successors in office, in the full sum of **Seventy Two Thousand Seven Hundred Nine Dollars and Eighty Cents (\$72,709.80)** current, lawful money of the United States of America, to be paid to said L. M. (Matt) Sebesta, Jr., County Judge of Brazoria County, Texas or his successors in office, to which payment well and truly to be made and done, we, the undersigned, bind ourselves and each of us, our heirs, executors, administrators, successors, assigns, and legal representatives, jointly and severally, by these presents.

WHEREAS, the said Principal is the owner of the following Subdivision(s):

SIERRA VISTA WEST SECTION 1

located in Brazoria County, Texas; and,

WHEREAS, the Commissioners Court of Brazoria County, Texas, has promulgated certain rules, regulations and requirements relating to Subdivisions in Brazoria County, Texas, as more specifically set out in "Brazoria County Regulations of Subdivisions" as amended; same being made a part hereof for all purposes, as though fully set out herein; wherein it is provided, among other things, that the owner of a Subdivision will construct the roads, streets, bridges and drainage in the right-of-way depicted on the plat thereof, in accordance with the specifications set out therein, and maintain such roads, streets, bridges and drainage in the right-of-way until such time as said roads, streets, bridges and drainage in the right-of-way have been approved by the County Engineer and accepted for maintenance by the Commissioners Court of Brazoria County, Texas

(or in the case of subdivisions, streets or roads designated as private in the plat approved by the County Engineer and accepted by the Homeowners Association).

It is further stipulated and understood that the approval of the map or plat of the above named Subdivision(s) is conditioned upon and subject to the strict compliance by the Principal herein with the aforesaid specifications, and that the terms of said specifications, including all deletions, additions, changes or modifications of any kind or character, constitute a contract between the County of Brazoria and Principal; and it is understood by the Principal that the approval of said map or plat of the above Subdivision(s) was obtained only by the undertaking of the Principal to so comply with the said regulations and specifications within a reasonable time, as set by the Commissioners Court of Brazoria County, Texas, and that without such undertaking such approval would have not been granted.

NOW THE CONDITION OF THIS OBLIGATION IS SUCH, that if the above bounded Principal, his, her, their, or its heirs, executors, administrators, successors, assigns, and legal representatives, and each and every one of them to do in all things well and truly observe, perform, fulfill, keep and comply with all and singular the rules, regulations, requirements and specifications above referred to, including any deletions, additions, changes or modifications of any kind or character, in the construction and maintenance of all roads, streets, bridges and drainage in the right-of-way in the above named Subdivision(s) and that upon approval of the construction of said roads, streets, bridges and drainage in the right-of-way by the County Engineer, and upon the approval of such maintenance by the County Engineer, and upon acceptance of such roads, streets, bridges and drainage in the right-of-way by the Commissioners Court of Brazoria County, Texas, then this obligation to be void and of no force and effect.

The Principal and Surety hereon each agree, bind and obligate themselves to pay L. M. (Matt) Sebesta, Jr., County Judge of Brazoria County, State of Texas, or his successors in office, for the use and benefit of Brazoria County, all loss or damages to it occasioned by reason of the failure of the Principal to comply strictly with each and every provision contained in the rules, regulations, requirements and specifications above referred to relating to the construction and maintenance of roads, streets, bridges and drainage in the right-of-way in the above named Subdivision(s), and further agree, bind and obligate themselves to defend, save and keep harmless the County of Brazoria from any and all damages, expenses, and claims of every kind and character which the County of Brazoria may suffer, directly or indirectly, as a result of the Principal's failure to comply with the rules, regulations and specifications relating to the construction and maintenance of the roads, streets, bridges and drainage in the right-of-way in the above named Subdivision(s).


The word Principal when used herein means Principal or Principals whether an individual, individuals, partnership, corporation, or other legal entity having the capacity to contract. The words Roads, Streets, Bridges and Drainage in the right-of-way used herein mean each and every road, street, bridge and drainage in the right-of-way in said Subdivision(s). The word Maintenance as used herein means all needful, necessary and proper care and repair from completion of the roads or streets and approval thereof by the County Engineer until acceptance of the roads and streets by the Commissioners Court. The word Surety when used herein means Surety or Sureties, and it is understood by the parties that any and all liabilities of any kind or character assumed or imposed upon the Principal by the terms hereof extends in full force and vigor to each and every Surety jointly and severally.

In the event of suit hereunder, such suit shall be brought in Brazoria County, Texas.

EXECUTED this 8th day of June, 2021.

Principal

Land Tejas Sierra Vista West, LLC,
a Texas limited liability company

By: 
Al P. Brende, President

ATTEST:



Surety

Colonial American Casualty and Surety Company

By: 
John William Newby, Attorney-in-Fact

ATTEST:



**ZURICH AMERICAN INSURANCE COMPANY
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY
FIDELITY AND DEPOSIT COMPANY OF MARYLAND
POWER OF ATTORNEY**

KNOW ALL MEN BY THESE PRESENTS: That the ZURICH AMERICAN INSURANCE COMPANY, a corporation of the State of New York, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, a corporation of the State of Illinois, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND a corporation of the State of Illinois (herein collectively called the "Companies"), by **Robert D. Murray, Vice President**, in pursuance of authority granted by Article V, Section 8, of the By-Laws of said Companies, which are set forth on the reverse side hereof and are hereby certified to be in full force and effect on the date hereof, do hereby nominate, constitute, and appoint **Sammy Joe MULLIS, JR., Suzanne Elizabeth NIEDZWIEDZ, John William NEWBY, Joshua D. TRITT, Sandra Lee RONEY, Debra Lee MOON, Andrea Rose CRAWFORD, Troy Russell KEY, Cheri Lynn IRBY of Addison, Texas, EACH**, its true and lawful agent and Attorney-in-Fact, to make, execute, seal and deliver, for, and on its behalf as surety, and as its act and deed: **any and all bonds and undertakings**, and the execution of such bonds or undertakings in pursuance of these presents, shall be as binding upon said Companies, as fully and amply, to all intents and purposes, as if they had been duly executed and acknowledged by the regularly elected officers of the ZURICH AMERICAN INSURANCE COMPANY at its office in New York, New York., the regularly elected officers of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at its office in Owings Mills, Maryland., and the regularly elected officers of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at its office in Owings Mills, Maryland., in their own proper persons.


The said Vice President does hereby certify that the extract set forth on the reverse side hereof is a true copy of Article V, Section 8, of the By-Laws of said Companies, and is now in force.

IN WITNESS WHEREOF, the said Vice-President has hereunto subscribed his/her names and affixed the Corporate Seals of the said **ZURICH AMERICAN INSURANCE COMPANY, COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and FIDELITY AND DEPOSIT COMPANY OF MARYLAND**, this 19th day of February, A.D. 2021.




Copy

ATTEST:
**ZURICH AMERICAN INSURANCE COMPANY
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY
FIDELITY AND DEPOSIT COMPANY OF MARYLAND**



By: Robert D. Murray
Vice President



By: Dawn E. Brown
Secretary

**State of Maryland
County of Baltimore**

On this 19th day of February, A.D. 2021, before the subscriber, a Notary Public of the State of Maryland, duly commissioned and qualified, **Robert D. Murray, Vice President and Dawn E. Brown, Secretary** of the Companies, to me personally known to be the individuals and officers described in and who executed the preceding instrument, and acknowledged the execution of same, and being by me duly sworn, deposed and saith, that he/she is the said officer of the Company aforesaid, and that the seals affixed to the preceding instrument are the Corporate Seals of said Companies, and that the said Corporate Seals and the signature as such officer were duly affixed and subscribed to the said instrument by the authority and direction of the said Corporations.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Official Seal the day and year first above written.





Constance A. Dunn, Notary Public
My Commission Expires: July 9, 2023

Authenticity of this bond can be confirmed at bondvalidator.zurichna.com or 410-559-8790

EXTRACT FROM BY-LAWS OF THE COMPANIES

"Article V, Section 8, Attorneys-in-Fact. The Chief Executive Officer, the President, or any Executive Vice President or Vice President may, by written instrument under the attested corporate seal, appoint attorneys-in-fact with authority to execute bonds, policies, recognizances, stipulations, undertakings, or other like instruments on behalf of the Company, and may authorize any officer or any such attorney-in-fact to affix the corporate seal thereto; and may with or without cause modify or revoke any such appointment or authority at any time."

CERTIFICATE

I, the undersigned, Vice President of the ZURICH AMERICAN INSURANCE COMPANY, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND, do hereby certify that the foregoing Power of Attorney is still in full force and effect on the date of this certificate; and I do further certify that Article V, Section 8, of the By- Laws of the Companies is still in force.

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the ZURICH AMERICAN INSURANCE COMPANY at a meeting duly called and held on the 15th day of December 1998.

RESOLVED: "That the signature of the President or a Vice President and the attesting signature of a Secretary or an Assistant Secretary and the Seal of the Company may be affixed by facsimile on any Power of Attorney...Any such Power or any certificate thereof bearing such facsimile signature and seal shall be valid and binding on the Company."

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at a meeting duly called and held on the 5th day of May, 1994, and the following resolution of the Board of Directors of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at a meeting duly called and held on the 10th day of May, 1990.

RESOLVED: "That the facsimile or mechanically reproduced seal of the company and facsimile or mechanically reproduced signature of any Vice-President, Secretary, or Assistant Secretary of the Company, whether made heretofore or hereafter, wherever appearing upon a certified copy of any power of attorney issued by the Company, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seals of the said Companies, this 8th day of June, 2021.



Brian M. Hodges

By: Brian M. Hodges
Vice President

TO REPORT A CLAIM WITH REGARD TO A SURETY BOND, PLEASE SUBMIT A COMPLETE DESCRIPTION OF THE CLAIM INCLUDING THE PRINCIPAL ON THE BOND, THE BOND NUMBER, AND YOUR CONTACT INFORMATION TO:

Zurich Surety Claims
1299 Zurich Way
Schaumburg, IL 60196-1056
www.reportsfclaims@zurichna.com
800-626-4577

Texas Important Notice

IMPORTANT NOTICE

To obtain information or make a complaint:

You may call Zurich North America's toll-free telephone number for information or to make a complaint at:

1-800-382-2150

You may contact the Texas Department of Insurance to obtain information on companies, coverages, rights, or complaints at:

1-800-252-3439

You may write the Texas Department of Insurance:

P.O. Box 149104

Austin, TX 78714-9104

Fax: (512) 490-1007

Web: www.tdi.texas.gov

E-mail: ConsumerProtection@tdi.texas.gov

PREMIUM OR CLAIM DISPUTES:

Should you have a dispute concerning your premium or about a claim, you should contact the company first. If the dispute is not resolved, you may contact the Texas Department of Insurance.

ATTACH THIS NOTICE TO YOUR POLICY:

This notice is for information only and does not become a part or condition of the attached document.

AVISO IMPORTANTE

Para obtener información o para presentar una queja:

Usted puede llamar al número de teléfono gratuito de Zurich North America's para obtener información o para presentar una queja al:

1-800-382-2150

Usted puede comunicarse con el Departamento de Seguros de Texas para obtener información sobre compañías, coberturas, derechos, o quejas al:

1-800-252-3439

Usted puede escribir al Departamento de Seguros de Texas a:

P.O. Box 149104

Austin, TX 78714-9104

Fax: (512) 490-1007

Sitio web: www.tdi.texas.gov

E-mail: ConsumerProtection@tdi.texas.gov

DISPUTAS POR PRIMAS DE SEGUROS O RECLAMACIONES:

Si tiene una disputa relacionada con su prima de seguro o con una reclamación, usted debe comunicarse con la compañía primero. Si la disputa no es resuelta, usted puede comunicarse con el Departamento de Seguros de Texas.

ADJUNTE ESTE AVISO A SU PÓLIZA: Este aviso es solamente para propósitos informativos y no se convierte en parte o en condición del documento adjunto.

FINAL APPROVAL

Tuesday, August 10, 2021

Mayor Michael Byrum-Bratsen
City Council
City of Iowa Colony
12003 Iowa Colony Blvd.
Iowa Colony, TX 77553

**Re: Karsten Boulevard North Phase I-Storm and Paving
Brazoria County MUD 31
Recommendation for Acceptance into One-Year Maintenance Period
City of Iowa Colony Project No. CSW 200707-0729
Adico, LLC Project No. 16007-4-304**

Dear Mayor Byrum-Bratsen and City Council;

On behalf of the City of Iowa Colony, Adico, LLC has completed its final inspection of Karsten Boulevard North Phase I Storm and Paving facilities. The final inspection was held January 8, 2021 and all punch list items completed on or about January 18, 2021.

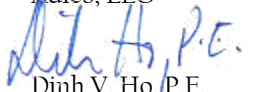
Based on our review of the closeout documents provided, Adico, LLC recommends acceptance of Storm and Paving facilities into the One-Year Maintenance Period. The maintenance period shall be effective August 16, 2021, if approved by City Council.

In compliance with the City of Iowa Colony Public Works and Engineering Subdivision Acceptance Checklist, please find included in the One-Year Maintenance acceptance package the following items:

1. Engineer of Record Certification Letter
2. Maintenance Bond
3. As-Builts (cover only)

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC


Dinh V. Ho, P.E.
TBPE Firm No. 16423

Cc: Kayleen Rosser, City Secretary
Robert Hemminger, City Manager



Engineer's Certificate of Substantial Completion

OWNER: Brazoria County Municipal Utility District No. 31
3200 Southwest Freeway, Suite 2600
Houston, Texas 77027

CONTRACT: Construction of Water, Sanitary, Drainage, and Paving
Facilities for Karsten Boulevard North Phase I

CONTRACTOR: Rodriguez Construction Group, LLC
2647 Jo Ann Street
Stafford, Texas 77477

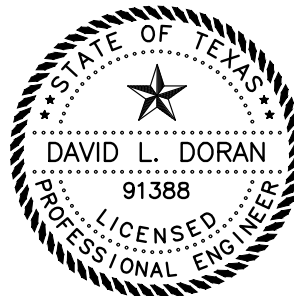
ENGINEER: Elevation Land Solutions
2445 Technology Forest Boulevard,
Suite 200 The Woodlands, Texas
77381

I hereby certify that this project is substantially complete as of January 13, 2021; that the project was under periodic observation during construction; that all observation of the work was performed by or under my supervision; that to the best of my knowledge, the project was in accordance with and includes all items in plans and specifications approved by all authorities having jurisdiction; and "record drawings" will be furnished to the Owner.

Sincerely,

David L Doran, P.E., CCM
Partner, Construction Management

DLD/mm



August 8, 2021

MAINTENANCE BOND

STATE OF TEXAS

Contract Date _____

COUNTY OF BRAZORIA

Date Bond Executed _____

PRINCIPAL RODRIGUEZ CONSTRUCTION GROUP, LLC

SURETY THE GUARANTEE COMPANY OF NORTH AMERICA USA

OWNER Brazoria County Municipal Utility District No. 31 and City of Iowa Colony

PENAL SUM OF BOND (in words and figures) Five Hundred Ninety Eight Thousand Five Hundred Twenty Nine Dollars and Fifty Five Cents (\$598,529.55), being 100 percent of the Contract Price.

CONTRACT for Construction of Water, Sanitary, Drainage, and Paving for Karsten Boulevard North Phase I for Brazoria County Municipal Utility District No. 31, Brazoria County, Texas (the "Contract").

KNOW ALL PERSONS BY THESE PRESENTS, that we, Principal and Surety above named, are held and firmly bound unto Owner, its successors and assigns, in the penal sum of the amount stated above, for the payment of which sum well and truly to be made, we bind ourselves and our respective heirs, executors, administrators, officers, directors, shareholders, partners, successors, and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal entered into that certain Contract with Owner, which Contract is expressly incorporated herein for all purposes.

NOW, THEREFORE, THE CONDITIONS OF THIS OBLIGATION IS SUCH, that if Principal well and truly repair any and all defects in the work occasioned by or resulting from defects in materials furnished by, or workmanship of, the Principal in performing the work covered by the Contract, including any guaranty or warranty required under the Contract, then this obligation is void; otherwise it is to remain in full force and effect. Should the Principal fail to well and truly repair any and all defects in the work occasioned by or resulting from defects in materials furnished by, or workmanship of, the Principal in performing the work as required by the Contract in all its terms, the Surety will be liable for all damages, losses, expenses and liabilities that the Owner may suffer in consequence thereof.

The parties intend this maintenance bond to be a common law bond to be constructed in accordance with Texas law.

Surety hereby agrees, for value received, that no change, extension of time, alteration or addition to the terms of the Contract or to work performed under the Contract, or to the plans, specifications or drawings accompanying the Contract, will in any way affect its obligations on this Bond and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the Contract or to the work to be performed thereunder.

The bound parties have executed this instrument pursuant to authority of their respective governing body, to be effective on the same date of the Contract.

Rodriguez Construction Group, LLC

PRINCIPAL

By

Name Roy Rodriguez

Title President

Address 2647 Jo Ann Street

Stafford, TX 77477

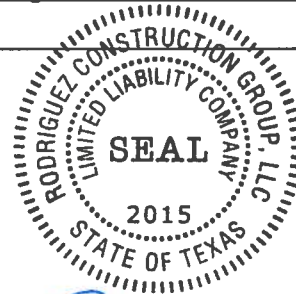
ATTEST

By

Name Joanne Rodriguez

Title Secretary

(SEAL)



The Guarantee Company of North America USA
SURETY

By

Name Jillian O'Neal

Title Attorney-in-Fact

ATTEST

By

Name Hannah Montagne

Title Assist. Account Manager

(SEAL)

Physical Address:

605 Highway 169 North

Suite 800

Plymouth, MN 55441

Mailing Address:

605 Highway 169 North

Suite 800

Plymouth, MN 55441

Telephone: (800) 321-2721

Local Recording Agent Personal Identification Number:

1903053

Agency Name: Technical Assurance, LLC

Agency Address 26623 Oak Ridge Dr., The Woodlands, TX 77380

Agency Telephone (281) 296-9997

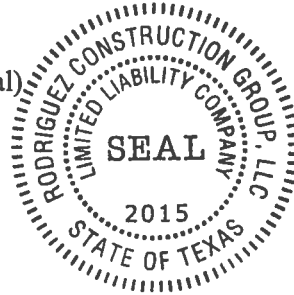
Surety must attach its original Power of Attorney to this Bond.

CERTIFICATE AS TO CORPORATE PRINCIPAL

I, Joanne Rodriguez, certify that I am the secretary of the corporation named as Principal in the Bond; that Roy Rodriguez, who signed the Bond on behalf of Principal, was then President of the corporation; that I know his or her signature, and his or her signature is genuine; and that the Bond was duly signed for and on behalf of the corporation by authority of its governing body.

Joanne Rodriguez
Signature of Corporate Secretary

(Corporate Seal)



ATTACH POWER OF ATTORNEY

Copy



POWER OF ATTORNEY

KNOW ALL BY THESE PRESENTS: That **THE GUARANTEE COMPANY OF NORTH AMERICA USA**, a corporation organized and existing under the laws of the State of Michigan, having its principal office in Southfield, Michigan, does hereby constitute and appoint **Edward Arens, Philip Baker, Michele Bonnin, Erica A. Cox, Rebecca Garza, Jillian O'Neal** its true and lawful attorney(s)-in-fact to execute, seal and deliver for and on its behalf as surety, any and all bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof, which are or may be allowed, required or permitted by law, statute, rule, regulation, contract or otherwise.

The execution of such instrument(s) in pursuance of these presents, shall be as binding upon **THE GUARANTEE COMPANY OF NORTH AMERICA USA** as fully and amply, to all intents and purposes, as if the same had been duly executed and acknowledged by its regularly elected officers at the principal office.

The Power of Attorney is executed and may be certified so, and may be revoked, pursuant to and by authority of Article IX, Section 9.03 of the By-Laws adopted by the Board of Directors of **THE GUARANTEE COMPANY OF NORTH AMERICA USA** at a meeting held on the 31st day of December, 2003. The President, or any Vice President, acting with any Secretary or Assistant Secretary, shall have power and authority:

1. To appoint Attorney(s)-in-fact, and to authorize them to execute on behalf of the Company, and attach the Seal of the Company thereto, bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof; and
2. To revoke, at any time, any such Attorney-in-fact and revoke the authority given, except as provided below
3. In connection with obligations in favor of the Florida Department of Transportation only, it is agreed that the power and authority hereby given to the Attorney-in-Fact includes any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts required by the State of Florida Department of Transportation. It is fully understood that consenting to the State of Florida Department of Transportation making payment of the final estimate to the Contractor and/or its assignee, shall not relieve this surety company of any of its obligations under its bond.
4. In connection with obligations in favor of the Kentucky Department of Highways only, it is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner - Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation.

Further, this Power of Attorney is signed and sealed by facsimile pursuant to resolution of the Board of Directors of the Company adopted at a meeting duly called and held on the 6th day of December 2011, of which the following is a true excerpt:

RESOLVED that the signature of any authorized officer and the seal of the Company may be affixed by facsimile to any Power of Attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, contracts of indemnity and other writings obligatory in the nature thereof, and such signature and seal when so used shall have the same force and effect as though manually affixed.

IN WITNESS WHEREOF, **THE GUARANTEE COMPANY OF NORTH AMERICA USA** has caused this instrument to be signed and its corporate seal to be affixed by its authorized officer, this 26th day of May, 2020.

THE GUARANTEE COMPANY OF NORTH AMERICA USA



Paul J. Brehm

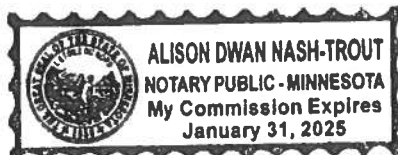
Paul J. Brehm, Senior Vice President

Chad A. Anderson

Chad A. Anderson, Senior Vice President Specialty

**STATE OF MINNESOTA
Hennepin County**

On this 26th day of May, 2020 before me came the individuals who executed the preceding instrument, to me personally known, and being by me duly sworn, said that each is the herein described and authorized officer of The Guarantee Company of North America USA; that the seal affixed to said instrument is the Corporate Seal of said Company; that the Corporate Seal and each signature were duly affixed by order of the Board of Directors of said Company.



IN WITNESS WHEREOF, I have hereunto set my hand at The Guarantee Company of North America USA offices the day and year above written.

Alison Nash-Trout

I, Chad A. Anderson, Senior Vice President of **THE GUARANTEE COMPANY OF NORTH AMERICA USA**, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney executed by **THE GUARANTEE COMPANY OF NORTH AMERICA USA**, which is still in full force and effect.



IN WITNESS WHEREOF, I have thereunto set my hand and attached the seal of said Company this ____ day of _____, ____.

Chad A. Anderson

Chad A. Anderson, Senior Vice President Specialty

FINAL APPROVAL

Tuesday, August 10, 2021

Mayor Michael Byrum-Bratsen
c/o City Council
City of Iowa Colony
12003 Iowa Colony Blvd.
Iowa Colony, TX 77553

Re: Sierra Vista West Section 5 Early Plat
Brazoria County Municipal Utility District No. 53
Letter of Recommendation to Approve Disbursement Request No. 1, August 2021
Adico Project No. 21001-07

Dear Mayor Byrum-Bratsen and City Council;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed Disbursement Request No. 1 from Meritage Homes for Sierra Vista West Section 5 Early Plat Recordation Release Agreement.

Elevation Land Solutions has provided copies of the approved pay estimates and supporting documents for our review. Below is a brief overview.

ESCROW AMOUNT:					\$	1,966,567.67
CONTINGENCY @ 10%					\$	196,656.77
TOTAL ESCROW AND CONTINGENCY DEPOSIT					\$	2,163,224.44
	Date of Request	Request Subtotal	10% Contingency	Change Orders	Total Disbursement	Remaining Escrow
Disbursement Request No. 1	Aug-21	\$ 1,044,057.80	\$ 104,405.78	\$ (8,800.00)	\$ 1,139,663.58	\$ 1,023,560.86
TOTALS		\$ 1,044,057.80	\$ 104,405.78	\$ (8,800.00)	\$ 1,139,663.58	\$ 1,023,560.86

Based on our review of the documentation provided, Adico has no objections to Disbursement No. 1 to Meritage Homes in the amount of \$1,139,663.58. After Disbursement No. 1, the remaining balance of the cash deposit is \$1,023,560.86.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC

Dinh V. Ho, P.E.
TBPE Firm No. 16423

cc: Kayleen Rosser, City Secretary
Robert Hemminger, City Manager

Christopher Hitch
Land Development Manager – Meritage Homes

July 30, 2021 (Revised on August 10, 2021)

Dinh V. Ho, P.E.
Principal
Adico Consulting Engineers
2114 El Dorado Blvd. Suite 400
Friendswood, TX 77546

RE: Meritage Homes of Texas, LLC
Construction and Escrow Agreement – Disbursement
Sierra Vista West Sec. 5 Draw #1 – August

Dear Dinh:

Please find the enclosed worksheet for disbursement for a portion of our cash deposit and copies of the invoices to pay the following Vendors(s):

Clearwater Utilities	\$245,089.55	Section 5 WSD - Pay App #3
Clearpave	\$209,936.25	Section 5 Paving –Pay App #2
<u>Clearpave</u>	<u>\$589,032.00</u>	Section 5 Paving –Pay App #3
Total	\$1,036,057.80	
August Contingency Refund	\$103,605.78	
Total Requested Funds	\$1,139,663.58	

Please review the enclosed and in agreement, recommend the City reimburse to reimburse to Meritage Homes of Texas, LLC the amount of **\$1,139,663.58** of our escrowed funds, also known as “deposited funds”. Wiring instructions are attached for your convenience.

Sincerely,


Christopher Hitch
Land Development Manager

Tuesday, August 10, 2021

Mayor Michael Byrum-Bratsen
City Council
City of Iowa Colony
12003 Iowa Colony Blvd.
Iowa Colony, TX 77553

Re: Sierra Vista West Section 6
Brazoria County Municipal Utility District No. 53
Letter of Recommendation-Disbursement Request No. 3 and Final, August 2021
Adico Project No. 21001-02

Dear Mayor Byrum-Bratsen and City Council;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed Disbursement Request No. 3 and Final from Land Tejas Sierra Vista West, LLC, the disbursement of funds for Sierra Vista West Section 6 Early Plat Recordation Release Agreement.

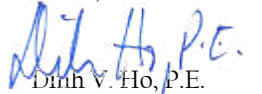
Elevation Land Solutions has provided copies of the approved pay estimates and supporting documents for our review. Below is a brief overview.

ESCROW AMOUNT:					\$	1,019,800.99
CONTINGENCY @ 10%					\$	101,980.10
TOTAL ESCROW AND CONTINGENCY DEPOSIT					\$	1,121,781.09
	Date of Request	Request Subtotal	10% Contingency	Change Orders	Total Disbursement	Remaining Escrow
Draw Request No. 1	Jun-21	\$ 815,015.50	\$ 81,501.55		\$ 896,517.05	\$ 225,264.04
Draw Request No. 2	Jul-21	\$ 33,200.60	\$ 3,320.06		\$ 36,520.66	\$ 188,743.38
Draw Request No. 3 and Final	Aug-21	\$ 149,519.89	\$ 14,951.99	\$ (24,271.50)	\$ 188,743.38	-
TOTALS		\$ 997,735.99	\$ 99,773.60	\$ (24,271.50)	\$ 1,121,781.09	-

Based on our review of the documentation provided, Adico, LLC has no objection to Disbursement No. 3 and Final to Land Tejas in the amount of \$188,743.38. This disbursement closes out the remaining cash deposit. City Council approved the infrastructure improvements into the One Year Maintenance Period at the July 19, 2021 meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC


Dinh V. Ho, P.E.
TBPE Firm No. 16423

cc: Kayleen Rosser, City Secretary
Robert Hemminger, City Manager



MELANIE ÖHL
CHIEF FINANCIAL OFFICER

August 2, 2021

Dinh V. Ho, P.E.
Principal
Adico Consulting Engineers
2114 El Dorado Blvd., Suite 400
Friendswood, TX 77546

RE: Land Tejas Sierra Vista West, LLC
Construction and Escrow Agreement-Disbursement
Sierra Vista West Sec. 6 Draw #3-August (Final)

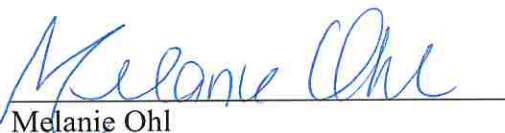
Dear Dinh:

Please find enclosed a worksheet for disbursement for a portion of our cash deposit and copies of the invoices to pay the following vendor(s):

Principal Services	\$ 171,584.89	Section 6 WSD & Paving
August Contingency Refund	<u>\$ 17,158.49</u>	
Total	\$ 188,743.38	

Please review the enclosed and if in agreement, recommend the City reimburse to Land Tejas Sierra Vista West, LLC the amount of \$188,743.38 of our escrowed funds. Wiring instructions are attached for your convenience.

Sincerely,


Melanie Ohl
Chief Financial Officer



ESCROW SUMMARY FOR ALL PROJECTS SERVING
SIERRA VISTA WEST SECTION 6
July 31, 2021

ORIGINAL ESCROW SUMMARY					
<u>Construction Contract</u>	<u>Contractor</u>	<u>Contract Amount</u> (A)	<u>Change Orders</u> (B)	<u>Revised Contract</u> <u>Amount (A + B)</u>	<u>Escrowed Amount</u>
1. Section 6 WSD & Paving	Principal Services	2,124,787.10	\$ 53,575.66	\$ 2,178,362.76	\$ 1,019,800.99
					\$ 1,019,800.99

<u>10% Contingency</u>	<u>Total Escrow</u>	<u>Total Refund to</u> <u>Date</u>	<u>August Draw</u> <u>Request</u>	<u>August</u> <u>Contingency</u> <u>Refund</u>	<u>August Refund</u>	<u>Remaining</u> <u>Escrow Balance</u>	<u>Deduction of</u> <u>Change Order</u> <u>Not Escrowed</u>	<u>August Refund</u> <u>(Net of Required</u> <u>Cash Deposit For CO)</u>	<u>Remaining</u> <u>Escrow Balance</u>
\$ 101,980.10	\$ 1,121,781.09	\$ (933,037.71)	\$ (149,519.89)	\$ (14,951.99)	\$ (164,471.88)	\$ 24,271.50	\$ (24,271.50)	\$ (188,743.38)	\$ -
\$ 101,980.10	\$ 1,121,781.09	\$ (933,037.71)	\$ (149,519.89)	\$ (14,951.99)	\$ (164,471.88)	\$ 24,271.50	\$ (24,271.50)	\$ (188,743.38)	\$ -
		\$ 188,743.38							

Copy

Tuesday, August 10, 2021

Mayor Michael Byrum-Bratsen
City Council
City of Iowa Colony
12003 Iowa Colony Blvd.
Iowa Colony, TX 77553

Re: Sierra Vista West Section 4
Brazoria County Municipal Utility District No. 53
Letter of Recommendation-Disbursement Request No. 2, August 2021
Adico Project No. 21001-02

Dear Mayor Byrum-Bratsen and City Council;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed Disbursement Request No. 2 from Land Tejas Sierra Vista West, LLC, the disbursement of funds for Sierra Vista West Section 4 Early Plat Recordation Release Agreement.

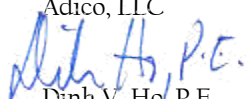
Elevation Land Solutions has provided copies of the approved pay estimates and supporting documents for our review. Below is a brief overview.

ESCROW AMOUNT:					\$	2,263,080.21
CONTINGENCY @ 10%					\$	226,308.02
TOTAL ESCROW AND CONTINGENCY DEPOSIT					\$	2,489,388.23
	Date of Request	Request Subtotal	10% Contingency	Change Orders	Total Disbursement	Remaining Escrow
Draw Request No. 1	Jul-21	\$ 1,055,947.04	\$ 105,594.70		\$ 1,161,541.74	\$ 1,327,846.49
Draw Request No. 2	Aug-21	\$ 737,135.10	\$ 73,713.51		\$ 810,848.61	\$ 516,997.88
TOTALS		\$ 1,793,082.14	\$ 179,308.21	\$ -	\$ 1,972,390.35	\$ 516,997.88

Based on our review of the documentation provided, Adico, LLC has no objections to Disbursement No. 2 to Land Tejas in the amount of \$810,848.61. After Disbursement No. 2, the remaining cash deposit balance is \$516,997.88.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC


Dinh V. Ho, P.E.
TBPE Firm No. 16423

cc: Kayleen Rosser, City Secretary
Bill Hemminger, City Manager



MELANIE OHL
CHIEF FINANCIAL OFFICER

August 2, 2021

Dinh V. Ho, P.E.
Principal
Adico Consulting Engineers
2114 El Dorado Blvd., Suite 400
Friendswood, TX 77546

RE: Land Tejas Sierra Vista West, LLC
Construction and Escrow Agreement-Disbursement
Sierra Vista West Sec. 4 Draw #2-August

Dear Dinh:

Please find enclosed a worksheet for disbursement for a portion of our cash deposit and copies of the invoices to pay the following vendor(s):

Clearwater Utilities	\$ 108,626.80	Section 4 WSD
ClearPave	\$ 628,508.30	Section 4 Paving
August Contingency Refund	<u>\$ 73,713.51</u>	
Total	\$ 810,848.61	

Please review the enclosed and if in agreement, recommend the City reimburse to Land Tejas Sierra Vista West, LLC the amount of \$810,848.61 of our escrowed funds. Wiring instructions are attached for your convenience.

Sincerely,

Melanie Ohl
Chief Financial Officer



ESCROW SUMMARY FOR ALL PROJECTS SERVING
SIERRA VISTA WEST SECTION 4
July 31, 2021

ORIGINAL ESCROW SUMMARY												Remaining Escrow Balance	Deduction of Change Order Not Escrowed	August Refund (Net of Required Cash Deposit For CO)	Remaining Escrow Balance
Construction Contract	Contractor	Contract Amount (A)	Change Orders (B)	Revised Contract Amount (A + B)	Escrowed Amount	10% Contingency	Total Escrow	Total Refund to Date	August Draw Request	August Contingency Refund	August Refund				
1. Section 4 WSD	Clearwater Utilities	2,527,119.30	\$ 58,600.00	\$ 2,585,719.30	\$ 351,313.32	\$ 35,131.33	\$ 386,444.65	\$ -	\$ (108,626.80)	\$ (10,862.68)	\$ (119,489.48)	\$ 266,955.17		\$ (119,489.48)	\$ 266,955.17
1. Section 4 Paving	ClearPave	2,333,046.00	\$ 98,969.49	\$ 2,432,015.49	\$ 1,911,766.89	\$ 191,176.69	\$ 2,102,943.58	\$ (1,161,541.74)	\$ (628,508.30)	\$ (62,850.83)	\$ (691,359.13)	\$ 250,042.71		\$ (691,359.13)	\$ 250,042.71
					\$ 2,263,080.21	\$ 226,308.02	\$ 2,489,388.23	\$ (1,161,541.74)	\$ (737,135.10)	\$ (73,713.51)	\$ (810,848.61)	\$ 516,997.88	\$ -	\$ (810,848.61)	\$ 516,997.88
								\$ 1,327,846.49							

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Tuesday, August 10, 2021

Mayor Michael Byrum-Bratsen
City Council
City of Iowa Colony
12003 Iowa Colony Blvd.
Iowa Colony, TX 77553

Re: Crystal View Drive Phase 3
Brazoria County Municipal Utility District No. 53
Letter of Recommendation-Disbursement Request No. 2 and Final, August 2021
Adico Project No. 21001-02

Dear Mayor Byrum-Bratsen and City Council;

On behalf of the City of Iowa Colony, Adico, LLC has reviewed Disbursement Request No. 2 and Final from Land Tejas Sierra Vista West, LLC, the disbursement of funds for Crystal View Drive Phase 3 Early Plat Recordation Release Agreement.

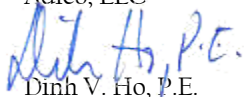
Elevation Land Solutions has provided copies of the approved pay estimates and supporting documents for our review. Below is a brief overview.

ESCROW AMOUNT:					\$	244,082.53
CONTINGENCY @ 10%:					\$	24,408.25
TOTAL ESCROW AND CONTINGENCY DEPOSIT					\$	268,490.78
	Date of Request	Request Subtotal	10% Contingency	Change Orders	Total Disbursement	Remaining Escrow
Disbursement Request No. 1	Jul-21	\$ 98,688.11	\$ 9,868.81		\$ 108,556.92	\$ 159,933.86
Disbursement Request No. 2 and Final	Aug-21	\$ 188,619.91	\$ 18,861.99	\$ (34,121.84)	\$ 159,933.86	\$ -
TOTALS		\$ 287,308.02	\$ 28,730.80	\$ (34,121.84)	\$ 268,490.78	\$ -

Based on our review of the documentation provided, Adico, LLC has no objection to Disbursement No. 2 and Final to Land Tejas in the amount of \$159,933.86. This disbursement closes out the remaining cash deposit and is contingent on City Council approving the infrastructure improvements into the One Year Maintenance Period at the August 2021 meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC



Dinh V. Ho, P.E.
TBPE Firm No. 16423

cc: Kayleen Rosser, City Secretary
Robert Hemminger, City Manager



MELANIE OHL
CHIEF FINANCIAL OFFICER

August 2, 2021

Dinh V. Ho, P.E.
Principal
Adico Consulting Engineers
2114 El Dorado Blvd., Suite 400
Friendswood, TX 77546

RE: Land Tejas Sierra Vista West, LLC
Construction and Escrow Agreement-Disbursement
Sierra Vista West Crystal View Drive Phase 3 Draw #2-August (Final)

Dear Dinh:

Please find enclosed a worksheet for disbursement for a portion of our cash deposit and copies of the invoices to pay the following vendor(s):

Rodriguez Construction	\$ 145,394.42	Crystal View Drive Phase 3
August Contingency Refund	\$ 14,539.44	
Total	\$ 159,933.86	

Please review the enclosed and if in agreement, recommend the City reimburse to Land Tejas Sierra Vista West, LLC the amount of \$159,933.86 of our escrowed funds. Wiring instructions are attached for your convenience.

Sincerely,


Melanie Ohl
Chief Financial Officer



ESCROW SUMMARY FOR ALL PROJECTS SERVING
SIERRA VISTA WEST CRYSTAL VIEW DRIVE PHASE 3
July 31, 2021

ORIGINAL ESCROW SUMMARY					
<u>Construction Contract</u>	<u>Contractor</u>	<u>Contract Amount (A)</u>	<u>Change Orders (B)</u>	<u>Revised Contract Amount (A + B)</u>	<u>Escrowed Amount</u>
1. Crystal View Drive Phase 3	Rodriguez Construction	1,630,400.00	\$ (74,245.35)	\$ 1,556,154.65	244,082.53
					\$ 244,082.53

<u>10% Contingency</u>	<u>Total Escrow</u>	<u>Total Refund to Date</u>	<u>August Draw Request</u>	<u>August Contingency Refund</u>	<u>August Refund</u>	<u>Remaining Escrow Balance</u>	<u>Deduction of Change Order Not Escrowed</u>	<u>August Refund (Net of Required Cash Deposit For CO)</u>	<u>Remaining Escrow Balance</u>
\$ 24,408.25	\$ 268,490.78	\$ (108,556.92)	\$ (188,619.91)	\$ (18,861.99)	\$ (207,481.90)	\$ (47,548.04)	\$ 47,548.05	\$ (159,933.86)	\$ 0.00
\$ 24,408.25	\$ 268,490.78	\$ (108,556.92)	\$ (188,619.91)	\$ (18,861.99)	\$ (207,481.90)	\$ (47,548.04)	\$ 47,548.05	\$ (159,933.86)	\$ 0.00
		\$ 159,933.86							

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RESOLUTION NO. _____

**A RESOLUTION OF THE CITY OF IOWA COLONY, TEXAS,
CONCERNING AUTHORIZATION TO SIGN ON BANK ACCOUNTS AT
TEXAS ADVANTAGE COMMUNITY BANK.**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF IOWA COLONY, TEXAS:

1. Mayor Michael Byrum-Bratsen, Mayor Pro Tem Chad Wilsey, and City Manager Robert Hemminger are hereby authorized to sign on all accounts of the City of Iowa Colony at **Texas Advantage Community Bank (“the Bank”)**.
2. Kacy Smajstrla and Susan Cottrell are no longer authorized to sign on any accounts of the City of Iowa Colony at the Bank.
2. This resolution does not change the number of signatures required for the withdrawal or transfer of funds from any account.
3. City Secretary Kayleen Rosser and City Accountant Sandra Castro are hereby authorized to obtain information from the Bank about a City account, but not to move or withdraw funds from such account.
4. The persons named herein are hereby authorized to sign the Bank’s standard form resolution to implement the authority granted by this resolution.

READ, PASSED AND ADOPTED ON AUGUST 16, 2021.

MICHAEL BYRUM-BRATSEN, MAYOR
CITY OF IOWA COLONY, TEXAS

ATTEST:

KAYLEEN ROSSER, CITY SECRETARY
CITY OF IOWA COLONY, TEXAS

RESOLUTION NO. _____

A RESOLUTION OF THE CITY OF IOWA COLONY, TEXAS,
CONCERNING AUTHORIZATION TO SIGN ON BANK ACCOUNTS AT
VERITEX COMMUNITY BANK.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF IOWA COLONY, TEXAS:

1. Mayor Michael Byrum-Bratsen, Mayor Pro Tem Chad Wilsey, and City Manager Robert Hemminger are hereby authorized to sign on all accounts of the City of Iowa Colony at **Veritex Community Bank.**
2. Michael Holton and Susan Cottrell are no longer authorized to sign on any accounts of the City of Iowa Colony at the Bank.
2. This resolution does not change the number of signatures required for the withdrawal or transfer of funds from any account.
3. City Secretary Kayleen Rosser and City Accountant Sandra Castro are hereby authorized to obtain information from the Bank about a City account, but not to move or withdraw funds from such account.
4. The persons named herein are hereby authorized to sign the Bank's standard form resolution to implement the authority granted by this resolution.

READ, PASSED AND ADOPTED ON AUGUST 16, 2021.

MICHAEL BYRUM-BRATSEN, MAYOR
CITY OF IOWA COLONY, TEXAS

ATTEST:

KAYLEEN ROSSER, CITY SECRETARY
CITY OF IOWA COLONY, TEXAS